

ABBREVIATIONS

AB - ANCHOR BOLT	FA - FIRE ALARM	MTG - MOUNTING	SHT - SHEET
AC - AIR CONDITIONING	FD - FLOOR DRAIN	MTL - METAL	SHR - SHOWER
ACC - ACCESSIBLE	FDC - FIRE DEPARTMENT CONNECTION	MULL - MULLION	SIM - SIMILAR
ACOUS - ACOUSTICAL	FND - FOUNDATION	N - NORTH	SM - SHEET METAL OR SQUARE METER (METRIC DOCS)
AD - AREA DRAIN	FE - FIRE EXTINGUISHER	NA - NOT APPLICABLE	SND - SANITARY NAPKIN DISPENSER
ADJ - ADJUSTABLE	FEC - FIRE EXTINGUISHER CABINET	NC - NOT IN CONTRACT	SP - STANDPIPE
AFF - ABOVE FINISH FLOOR	FF&E - FURNITURE, FINISHES & EQUIPMENT	NO - NUMBER	SPEC - SPECIFICATION
ALT - ALTERNATE	FIN - FINISH	NOM - NOMINAL	SPR - SPRINKLER
ALUM - ALUMINUM	FIXT - FIXTURE	NTS - NOT TO SCALE	SPKR - SPEAKER
ANCH - ANCHOR	FL - FLOOR	OA - OUTSIDE AIR	SQ - SQUARE
ANOD - ANODIZED	FLASH - FLASHING	OC - ON CENTER	SSE - STRUCTURE SLAB ELEVATION
ACP - ACOUSTICAL CEILING PANEL	FO - FACE OF	OFCI - OWNER FURNISHED, CONTRACTOR INSTALLED	SST - STAINLESS STEEL
APPD - APPROVED	FP - FIRE PROTECTION	OFOI - OWNER FURNISHED, OWNER INSTALLED	SSK - SERVICE SINK
APPROX - APPROXIMATE	FPG - FIREPROOFING	OFF - OFFICE	STA - STATION
ARCH - ARCHITECTURAL	FR - FRAME	OH - OVER HEAD	STD - STANDARD
AUTO - AUTOMATIC	FT - FEET	OPH - OPPOSITE HAND	STL - STEEL
AV - AUDIO VISUAL	FRT - FIRE RETARDANT TREATED	OPNG - OPENING	STLUJST - STEEL JOIST
AVB - AIR VAPOR BARRIER	FTG - FOOTING	OPP - OPPOSITE	STOR - STORAGE
	FURN - FURNITURE	OPPHD - OPPOSITE HAND	STRG - STRINGER
		ORD - OVERFLOW ROOF DRAIN	STRL - STRUCTURAL
BD - BOARD		OUTS - OUTSIDE	STRUCT - STRUCTURAL
BLDG - BUILDING		OVHD - OVERHEAD	SUBCAT - SUBCATEGORY
BM - BEAM	GA - GAUGE / GAGE		SUSP - SUSPENDED
BOT - BOTTOM	GALV - GALVANIZED	P - PAINT	SYMM - SYMMETRICAL
BSMT - BASEMENT	GB - GRAB BAR	PAV - PAVING	SYS - SYSTEM
BT - BOLT	GC - GENERAL CONTRACT(OR)	PARTN - PARTITION	
	GFCR - GLASS FIBER REINFORCED CONCRETE	PBD - PARTICLEBOARD	
	GL - GLASS	PDF - POWER DRIVEN FASTENER	
CAB - CABINET	GR - GRADE	PERF - PERFORATED	
CAT - CATEGORY	GRD - GROUND	PERIM - PERIMETER	
CB - CATCH BASIN	GWB - GYPSUM WALLBOARD	PERP - PERPENDICULAR	
CBU - CEMENTITIOUS BACKER UNIT		PL - PLATE	
CER - CERAMIC		PLAM - PLASTIC LAMINATE	
CG - CORNER GUARD	H - HIGH / HEIGHT	PLBG - PLUMBING	
CH - CHILLER	HB - HOSE BIB	PLYWD - PLYWOOD	
CHAN - CHANNEL	HC - HOLLOW CORE	PNL - PANEL	
CI - CAST IRON	HCP - HANDICAPPED	POL - POLISHED	
CIP - CAST-IN-PLACE	HDW - HARDWARE	PR - PAIR	
CJ - CONTROL JOINT / CONSTRUCTION JOINT	HS - HEAT STRENGTHEND (GLASS)	PREFAB - PREFABRICATED	
CL - CENTER LINE	HM - HOLLOW METAL (STEEL FRAME)	PROJ - PROJECT	
CLG - CEILING	HNDRL - HANDRAIL	PSF - POUNDS PER SQUARE FOOT	
CLR - CLEAR	HO - HOLD-OPEN	PT - POINT / PRESSURE-TREATED	
CNTR - COUNTER	HORIZ - HORIZONTAL	PTD - PAPER TOWEL DISPENSER / PAINTED	
CO - CLEANOUT	HT - HEIGHT	PTN - PARTITION	
COL - COLUMN	HVAC - HEATING, VENTILATION, AIR CONDITIONING	PTR - PAPER TOWEL RECEPTACLE	
CONC - CONCRETE	HW - HOT WATER		
COND - CONDITION	HYDR - HYDRAULIC		
CONN - CONNECTION		Q - QUARRY TILE	
CONT - CONTINUOUS	ID - INSIDE DIAMETER	QTY - QUANTITY	
CONTR - CONTRACTOR	IN - INCH		
COORD - COORDINATE	INCL - INCLUDED / INCLUDING	(R) - RELOCATED	
CORR - CORRIDOR	INFO - INFORMATION	R - RADIUS OR RISER (PIPING)	
CT - CERAMIC TILE	INSUL - INSULATION	RA - RETURN AIR	
CTR - CENTER	INT - INTERIOR	RAD - RADIUS	
CTSK - COUNTER SUNK	INV - INVERT	RB - RESILIENT BASE	
CW - COLD WATER (PIPING)	IPS - INTERNATIONAL PIPE STANDARD	RCP - REFLECTED CEILING PLAN	
		RD - ROOF DRAIN	
		RECOM - RECOMMENDED	
D - DEEP, DEPTH	JAN - JANITOR	RECPT - RECEPTACLE	
DBL - DOUBLE	JC - JANITOR'S CLOSET	REC - RECESSED	
DEG - DEGREE	JST - JOIST	REF - REFERENCE	
DEMO - DEMOLITION	JT - JOINT	REFL - REFLECTED / REFLECTIVE / REFLECT	
DEPT - DEPARTMENT		REFR - REFRIGERATOR	
DET - DETAIL	KIT - KITCHEN	REG - REGISTER	
DF - DRINKING FOUNTAIN	KO - KNOCKOUT	REINF - REINFORCED / REINFORCING	
DIA - DIAMETER		REL - RELOCATE	
DIFF - DIFFUSER	LDG - LANDING	REM - REMOVABLE	
DIM - DIMENSION	LAM - LAMINATE / LAMINATION	REQ - REQUIRE / REQUIRED	
DISP - DISPENSER	LAV - LAVATORY	RESIL - RESILIENT	
DMPF - DAMPPROOFING	LB - POUND	REV - REVISION / REVISED	
DN - DOWN	LF - LINEAR FOOT	RM - ROOM	
DO - DOOR OPENING	LKR - LOCKER	RO - ROUGH OPENING	
DR - DOOR	LN - LINE	RTD - RATED	
DRN - DRAIN	LT - LIGHT	RTG - RATING	
DW - DISHWASHER		RWL - RAIN WATER LEADER	
DWG - DRAWING	MACH - MACHINE		
DWR - DRAWER	MAINT - MAINTENANCE	S - SOUTH	
	MATL - MATERIAL	SA - SUPPLY AIR	
(E) - EXISTING	MAX - MAXIMUM	SAF - SELF-ADHERED FLASHING	
E - EAST	MB - MACHINE BOLT	SAM - SELF-ADHERED MEMBRANE	
EA - EACH	MDF - MEDIUM DENSITY FIBERBOARD	SAN - SANITARY AIR	
EJ - EXPANSION JOINT	MEP - MECHANICAL, ELECTRICAL, PLUMBING	SC - SOLID CORE	
EL - ELEVATION	MDO - MEDIUM DENSITY OVERLAY PLYWOOD	SCHED - SCHEDULE	
ELEC - ELECTRICAL	MECH - MECHANICAL	SD - STORM DRAIN / SOAP DISPENSER	
ELEV - ELEVATOR	MEMB - MEMBRANE	SECT - SECTION	
EMERG - EMERGENCY	MET - METAL	STS - SELF TAP METAL SCREW	
EP - ELECTRICAL PANELBOARD	MEZZ - MEZZANINE	SF - SQUARE FEET/FOOT	
EQ - EQUAL	MFR - MANUFACTURER	SH - SPRINKLER HEAD	
EQUIP - EQUIPMENT	MH - MANHOLE		
EXH - EXHAUST	MIN - MINIMUM		
EXP - EXPANSION	MISC - MISCELLANEOUS		
EXIST - EXISTING	MS - MACHINE SCREW		
EXT - EXTERIOR	MTD - MOUNTED		

DRAWING SYMBOLS LEGEND

	VIEW NAME 1/8" = 1'-0"	DRAWING NAME AND DESCRIPTION
	GRID LINE AND BUBBLE	
	BUILDING ELEVATION	
	INTERIOR ELEVATION	
	BUILDING SECTION	
	WALL SECTION	
	DETAIL	
	ENLARGED PLAN AND DETAIL CALLOUT	
	PROJECT NORTH ARROWS	
	TRUE NORTH ARROWS	
	AREA NAME & SIZE	
	ROOM NAME & NUMBER WITH ROOM SIZE	
	CEILING HEIGHT AND MATERIAL DESCRIPTION	
	DOOR NUMBER	
	MATERIAL TYPE MARK	
	BUILDING ASSEMBLIES AND PARTITION TYPE MARK	

	SHEET DRAWING KEYNOTES MARK
	CURTAINWALL, STOREFRONT AND WINDOW TYPE MARK
	RELITE TYPE MARK FURNITURE TYPE MARK
	LIGHT FIXTURE TYPE MARK
	SPOT ELEVATION POINT
	DIMENSION OR WORK POINT
	REVISION CLOUDS AND DELTA
	FINISH / GRADE / SLAB HEIGHT CHANGE
	LOT LINE
	SETBACK LINE
	LIMIT OF WORK LINE
	MATCHLINE WITH DRAWING / SHEET REFERENCE
	FLOOR DRAIN
	DOWNSPOUT

	URINAL
	FLOOR MOUNTED TOILET
	BATH TUB
	LAVATORY SINK
	MOP FLOOR SINK
	DRINKING FOUNTAIN
	KITCHEN SINK - DOUBLE & SINGLE

DRIFT INTERIOR ARCHITECTURE

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Wishwas Koushik Remodel

BUILDER NAME
Wishwas Mohan and Madhuri Koushik

BUILDER CONTACT
PROJECT ADDRESS
8203 AVALON DR 98040

BUILDER NAME
Wishwas Mohan and Madhuri Koushik

BUILDER CONTACT
PROJECT ADDRESS
8203 AVALON DR 98040

REV #	DATE	DESCRIPTION

STATUS: **PERMIT**

DPS PERMIT NUMBER: _____

BNA Project number: **XXXXXX**

DRAWN BY: _____

SHEET NAME: **ABBREVIATIONS, SYMBOLS AND LEGENDS**

SHEET NO: **G002**

Scale: **As indicated**

BUILDING HEIGHT CALCULATION

AREA (SF)	
AVERAGE BASE GRADE	$(93'-3" + 92'-5" + 90'-5" + 91') / 4$
AVERAGE BASE GRADE	91'-9"
MAX. ALLOWED BUILDING HEIGHT	$91'-9" + 30' = 121'-9"$
PROPOSED BUILDING HEIGHT	120'-9"
BUILDING HEIGHT	OK

EXISTING GARAGE HEIGHT CALCULATION

AREA (SF)	
AVERAGE BASE GRADE	$(93.3 + 93.3 + 93.3 + 92.5) / 4$
AVERAGE BASE GRADE	93.10'
MAX. ALLOWED BUILDING HEIGHT	$91.83' + 30' = 123.10'$
PROPOSED BUILDING HEIGHT	101.10'
BUILDING HEIGHT	OK

LOT COVERAGE

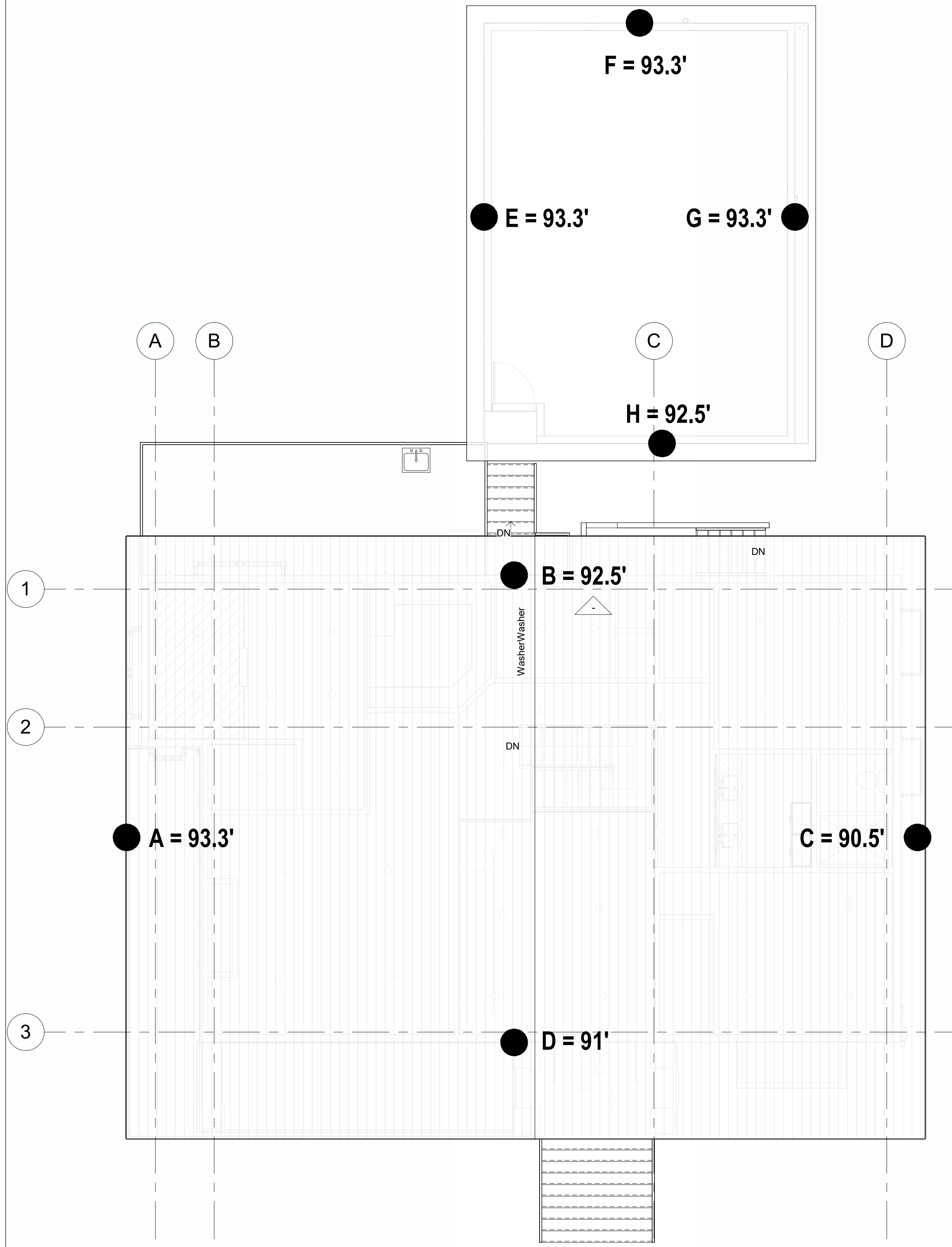
- EXISTING HARDSCAPE: SEE SURVEY
 - EXISTING DRIVEWAY: 1,690 SF
 - EXISTING ROOF SFR AND GARAGE: 3,201 SF
 - TOTAL: 4,891 SF**
- PROPOSED HARDSCAPE: SEE CIVIL SITE PLAN
 - EXISTING DRIVEWAY: 1,650 SF
 - NEW SFR ROOF: 2,500 SF
 - GARAGE ROOF: 850 SF
 - NEW DECK ADDITION: 200 SF
 - TOTAL 5,200 SF**

TOTAL IMPERVIOUS COVERAGE: .28%, **ALLOWED 35%**

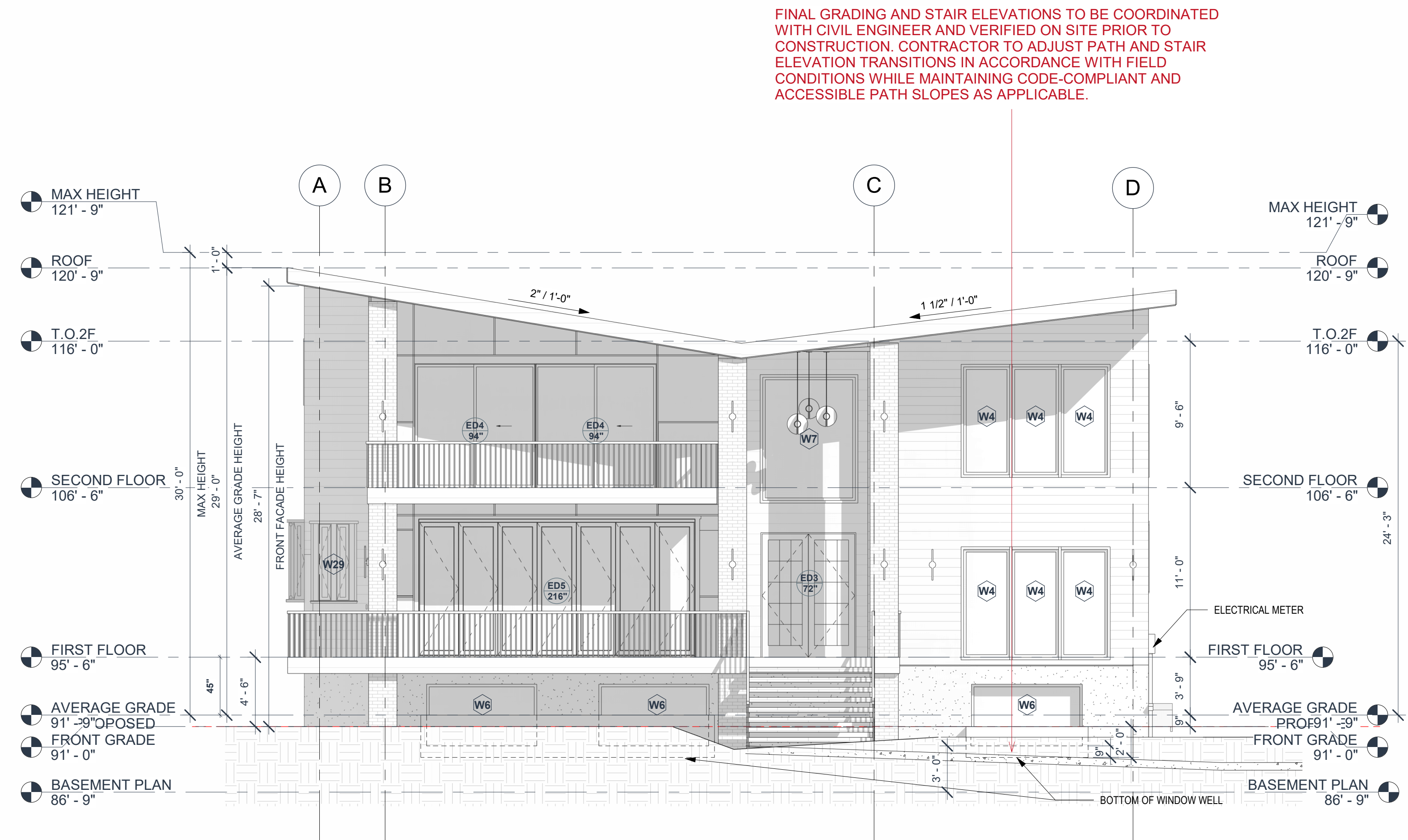
TOTAL NEW/REPLACED HARD SURFACE: 385 SF

GROSS FLOOR AREA (GFA)

- EXISTING FLOOR AREA: EXISTING FOOTPRINT TO REMAIN
 - MAIN FLOOR: 1,700 SF
 - BASEMENT: 1,700 SF
 - GARAGE/CARPORT: 660 SF
 - TOTAL EXISTING GFA: 4060 SF
 - PROPOSED ADDITIONAL FLOOR AREA
 - UPPER FLOOR: 1,375 SF
 - SECOND STORY OPEN TO BELOW, 200% OF AREA DUE TO OVER 16' CEILING HEIGHT : 222 SF
 - TOTAL PROPOSED GFA ADDITION: 1,597 SF
- TOTAL GFA (EXISTING + PROPOSED):**
- HEATED: 1700 + 1700 + 1597 = 4,997 SF
 - TOTAL: 4,997 + 660 = 5,657 SF
 - PERCENTAGE OF LOT AREA (18,172 SF): 31%
 - ALLOWED GFA (40% OF LOT AREA): 7,269 SF- COMPLIES



1. AVERAGE GRADE PLAN
3/16" = 1'-0"



2. AVERAGE GRADE ELEVATION/DOWNHILL FACADE
3/16" = 1'-0"

FINAL GRADING AND STAIR ELEVATIONS TO BE COORDINATED WITH CIVIL ENGINEER AND VERIFIED ON SITE PRIOR TO CONSTRUCTION. CONTRACTOR TO ADJUST PATH AND STAIR ELEVATION TRANSITIONS IN ACCORDANCE WITH FIELD CONDITIONS WHILE MAINTAINING CODE-COMPLIANT AND ACCESSIBLE PATH SLOPES AS APPLICABLE.



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Wishwas Koushik Remodel

BUILDER NAME: _____
BUILDER CONTACT: _____
BUILDER ADDRESS: _____
CLIENT NAME: Wishwas Mohan and Madhuri Koushik
PROJECT ADDRESS: 8203 AVALON DR 98040

REVISION LOG

REV #	DATE	DESCRIPTION

STATUS: **PERMIT**
DPS PERMIT NUMBER: _____
BNA Project number: XXXXXX
DRAWN BY: _____
SHEET NAME: _____

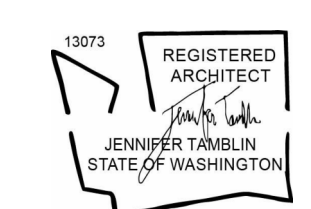
ZONING CODE COMPLIANCE

SHEET NO. **G004**

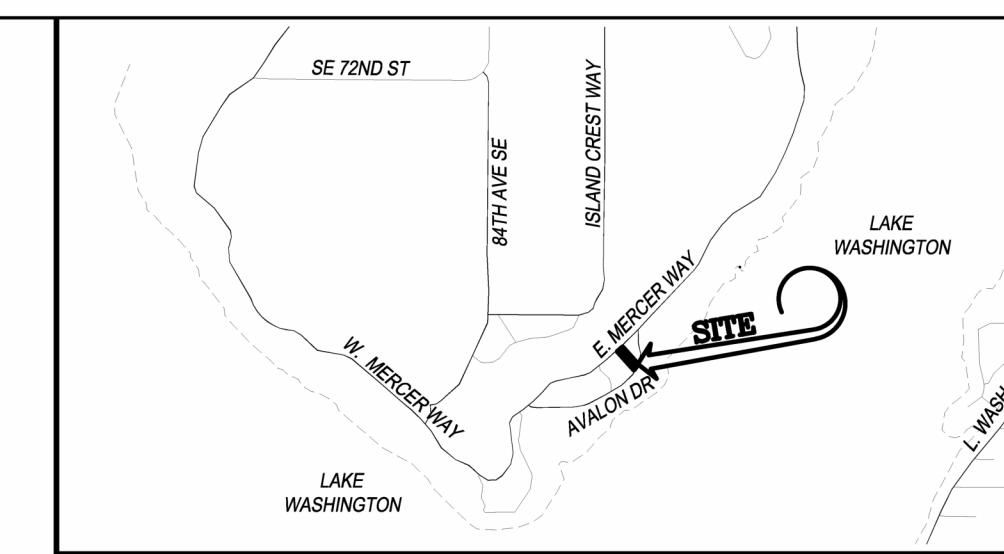
Scale: As indicated

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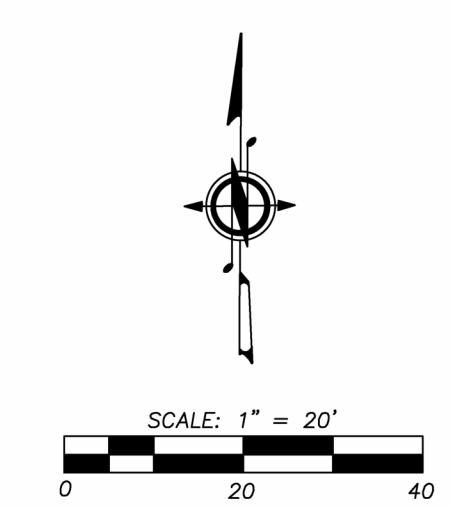
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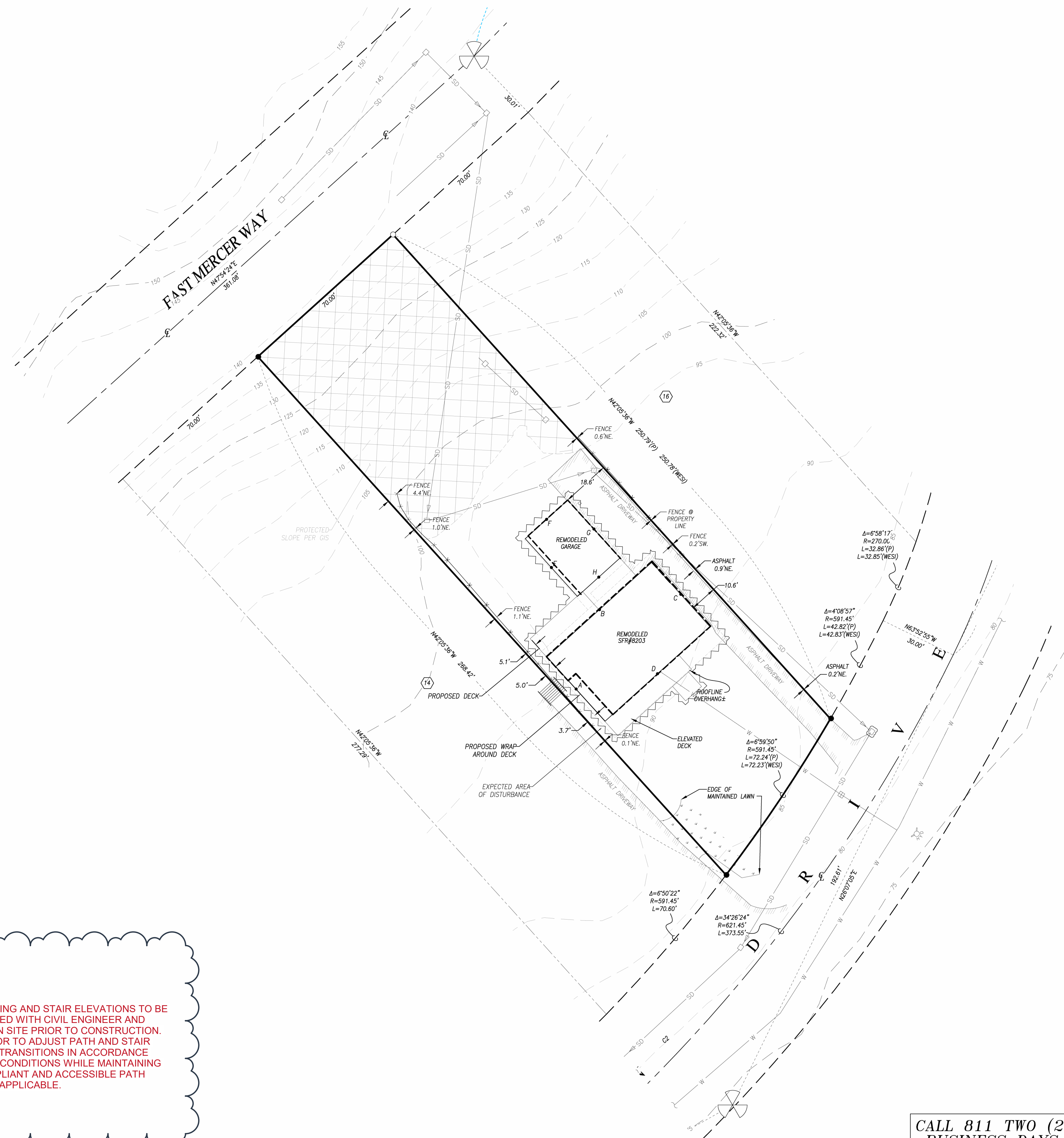


VICINITY MAP
SCALE: 1" = 2,000'



SCALE: 1" = 20'

- LEGEND**
- EXISTING STORM DRAIN CATCH BASIN (CB)
 - ▭ EXISTING BUILDING
 - EXISTING PROPERTY BOUNDARY
 - EXISTING CENTERLINE
 - EXISTING CONTOUR (MAJOR)
 - EXISTING CONTOUR (MINOR)
 - EXISTING EDGE OF ASPHALT
 - EXISTING FENCE
 - EXISTING LOT LINE
 - EXISTING RIGHT-OF-WAY
 - EXISTING STORM DRAIN LINE
 - CLEARING LIMITS/AREA OF DISTURBANCE
 - CATCH BASIN SEDIMENT INSERT
 - PROTECTED SLOPE OVERLAY



CONTOUR & FEATURES NOTE
CONTOURS AND EXISTING STRUCTURES SHOWN BASED ON KING COUNTY MAP.

TREE NOTE
NO TREES SHALL BE REMOVED WITHOUT A TREE CUTTING PERMIT OR ADMINISTRATIVE APPROVAL FROM PLANNING DIVISION. REFER TO CSMP PLAN FOR TREE PROTECTION, REMOVAL AND REPLACEMENT AREAS.

HARDSCAPE AREA CALCULATION
TOTAL PROPERTY AREA: 18,225 SF (0.418 AC)

ON-SITE HARDSCAPE

EXISTING DRIVEWAY	1,600 SF
REMODELED SFR ROOF	2,500 SF
REMODELED GARAGE ROOF	850 SF
PROPOSED DECK ADDITION	200 SF
TOTAL	5,200 SF

TOTAL NEW/REPLACED HARDSCAPE: 385 SF.

BUILDING HEIGHT CALCULATION
SER. #8203:

WEST (A) - 93.3'	
NORTH (B) - 92.5'	
EAST (C) - 90.5'	
SOUTH (D) - 91.0'	
TOTAL	367.3'

AVERAGE GRADE = 367.3'/4 = 91.83'

MAXIMUM BUILDING HEIGHT = 30' OR 121.83' ELEVATION

DESIGN HEIGHT = 91.83' + 26.5' = 118.33'

GARAGE:

WEST (E) - 93.3'	
NORTH (F) - 93.3'	
EAST (G) - 93.3'	
SOUTH (H) - 92.5'	
TOTAL	372.4'

AVERAGE GRADE = 372.4'/4 = 93.10'

MAXIMUM BUILDING HEIGHT = 30' OR 123.10' ELEVATION

DESIGN HEIGHT = 93.10' + 8' = 101.10'

EQUIPMENT AND PROCEDURE:
METHOD OF SURVEY:
SURVEY PERFORMED BY FIELD TRAVERSE

INSTRUMENTATION:
LEICA TCR11-1105 ELECTRONIC TOTAL STATION

PRECISION:
MEETS OR EXCEEDS STATE STANDARDS WAC 322-130-090

BASIS OF BEARING:
THE CENTERLINE OF EAST MERCER WAY HAS THE BEARING OF N.47°54'24"E. PER THE PLAT OF AVALON PARK, AS PER THE PLAT RECORDED IN VOLUME 49 OF PLATS ON PAGE 64 AND 65, RECORDS OF KING COUNTY.

LEGAL DESCRIPTION
AS PER STATUTORY WARRANTY DEED KING COUNTY INSTRUMENT NO. 20241028000600
LOT 15 IN BLOCK 2 OF AVALON PARK, AS PER PLAT RECORDED IN VOLUME 49 OF PLATS ON PAGES 64 AND 65, RECORDS OF KING COUNTY.

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.
SUBJECT TO: COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS AND ENCUMBRANCES, IF ANY, AFFECTING TITLE, WHICH MAY APPEAR IN THE PUBLIC RECORD INCLUDING THOSE SHOWN ON ANY RECORDED PLAT OR SURVEY.

ENGINEER/SURVEYOR
WESI LAND USE CONSULTANTS, LLC
1000 CEDAR AVENUE
MARYSVILLE, WA 98270
PHONE: (425) 356-2700

DEVELOPER/APPLICANT/CONTACT
JENNIFER TAMLIN
8203 AVALON DRIVE
MERCER ISLAND, WA 98040
PHONE: (425) 478-0327
EMAIL: JEN@DRIFT-IA.COM

TAX ACCOUNT NO(S):
0321100090

SITE ADDRESS:
8203 AVALON DRIVE
MERCER ISLAND, WA

PERMIT #2505-004

SITE PLAN FOR:
WISHWAS SFR ADD
NE 1/4, NW 1/4, SEC.31, T.24N, R.05E, W.M.
MERCER ISLAND, WASHINGTON

DRAWN BY	DATE	REV. BY	DATE	PROJECT MANAGER	SCALE
TAS	06/04/25	03	11/26/25	T. SARKELA	1"=20'
DRAWING FILE NAME	CHECKED BY	F.B. NO.	JOB NUMBER	SHEET NO.	
241102ABASE.DWG	TAS	-	24-1102-A	1 OF 1	

FINAL GRADING AND STAIR ELEVATIONS TO BE COORDINATED WITH CIVIL ENGINEER AND VERIFIED ON SITE PRIOR TO CONSTRUCTION. CONTRACTOR TO ADJUST PATH AND STAIR ELEVATION TRANSITIONS IN ACCORDANCE WITH FIELD CONDITIONS WHILE MAINTAINING CODE-COMPLIANT AND ACCESSIBLE PATH SLOPES AS APPLICABLE.

CALL 811 TWO (2) BUSINESS DAYS BEFORE YOU DIG

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Wishwas Koushik Remodel

CLIENT NAME: Wishwas Mohan and Madhuri Koushik
PROJECT ADDRESS: 8203 AVALON DR 98040

REVISION LOG

REV #	DATE	DESCRIPTION
1	Date 1	Revision 1

STATUS: PERMIT

DPS PERMIT NUMBER:

BNA Project number: XXXXXX

DRAWN BY: Author

SHEET NAME: CIVIL SITE PLAN

SHEET NO. Z000

Scale: 3/64" = 1'-0"

TEMPORARY EROSION & SEDIMENT CONTROL (TESC)

THIS PLAN IS REQUIRED FOR ALL PROJECTS WITH GREATER THAN 500 SQUARE FEET OF LAND DISTURBING ACTIVITIES.
A FIRST GROUND DISTURBANCE INSPECTION IS REQUIRED PRIOR TO START OF WORK ON ALL SITES WITH LAND DISTURBING ACTIVITY.

TEMPORARY AND PERMANENT BEST MANAGEMENT PRACTICES (BMPs) SHALL BE USED TO ACCOMPLISH THE FOLLOWING MINIMUM REQUIREMENTS. ADDITIONAL BMPs ARE REQUIRED WHEN MINIMUM CONTROLS ARE NOT SUFFICIENT TO PREVENT EROSION OR TRANSPORT OF SEDIMENT OR OTHER POLLUTANTS FROM THE SITE.

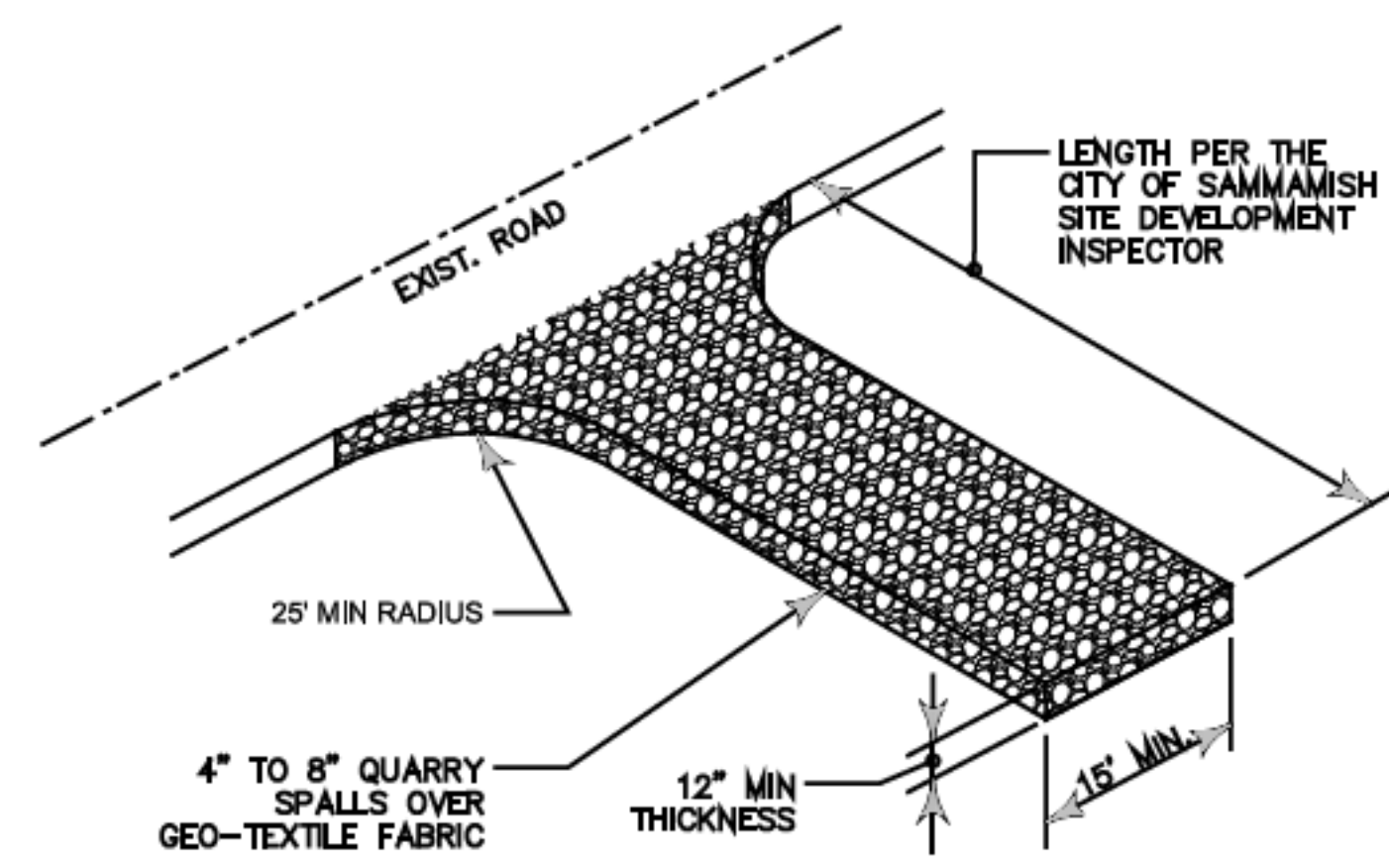
- MARK CLEARING LIMITS
- DELINEATE ENVIRONMENTALLY CRITICAL AREAS
- RETAIN TOP LAYER AND NATIVE VEGETATION
- ESTABLISH CONSTRUCTION ACCESS
- PROTECT DOWNSTREAM PROPERTIES AND RECEIVING WATERS
- PREVENT EROSION AND SEDIMENT TRANSPORT FROM THE SITE
- STABILIZE SOILS
- PROTECT SLOPES
- PROTECT STORM DRAINS
- STABILIZE CHANNEL AND OUTLETS
- CONTROL POLLUTANTS
- CONTROL DEWATERING
- MAINTAIN AND INSPECT BMPs
- EXECUTE CONSTRUCTION STORMWATER CONTROL PLAN
- MINIMIZE/OPEN TRENCHES
- PHASE THE PROJECT
- INSTALL PERMANENT FLOW CONTROL AND WATER QUALITY FACILITIES

COMPLETE CONSTRUCTION STORMWATER CONTROL BMP DETAILS AND REQUIREMENTS ARE PROVIDED IN "KING COUNTY SURFACE WATER DESIGN MANUAL APPENDIX C: SMALL PROJECT DRAINAGE REQUIREMENTS".
BE USED TO ACHIEVE THE REQUIREMENTS ABOVE.
SHOW ALL BMPs ON THIS PLAN SHEET THAT WILL BE USED TO ACHIEVE THE REQUIREMENTS ABOVE.

SITE PLAN NOTES:

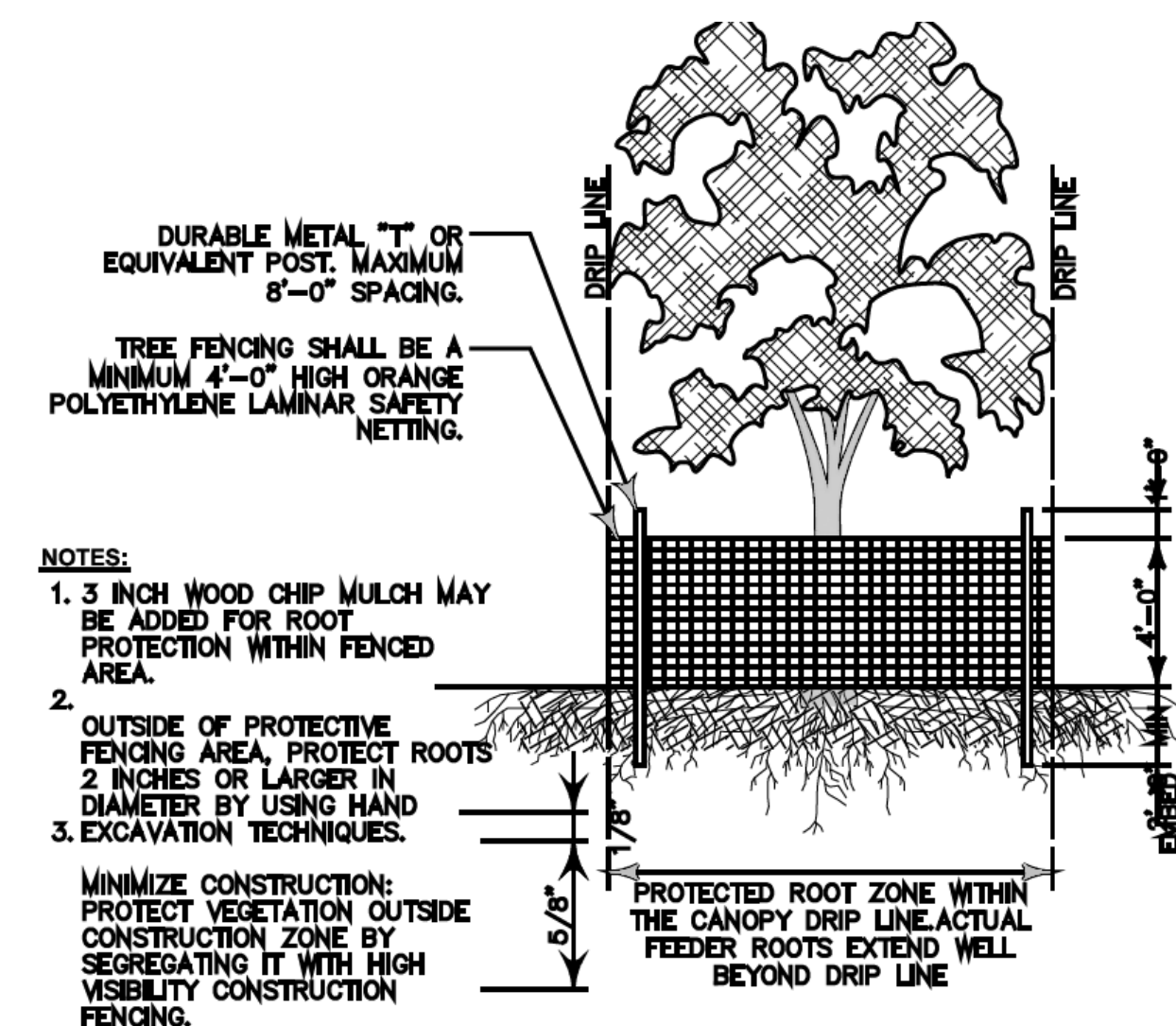
- THE NEW ROOF GUTTER SHALL BE CONNECTED TO EXISTING ROOF GUTTER LINES
- ALL CONSTRUCTION ACTIVITIES SHALL BE LOCATED OUTSIDE OF THE DRIPLINE OF TREES IDENTIFIED FOR RETENTION. NO GRADING IS PERMITTED IN TREE DRIP LINES AND TREE PROTECTION BARRIERS SHALL BE INSTALLED 5 FEET BEYOND THE DRIP LINE OF SIGNIFICANT TREES TO BE PROTECTED PRIOR TO ANY LAND DISTURBANCE.
- SLOPE GRADE AWAY FROM HOUSE WHERE POSSIBLE, TYP

STABILIZED CONSTRUCTION ACCESS

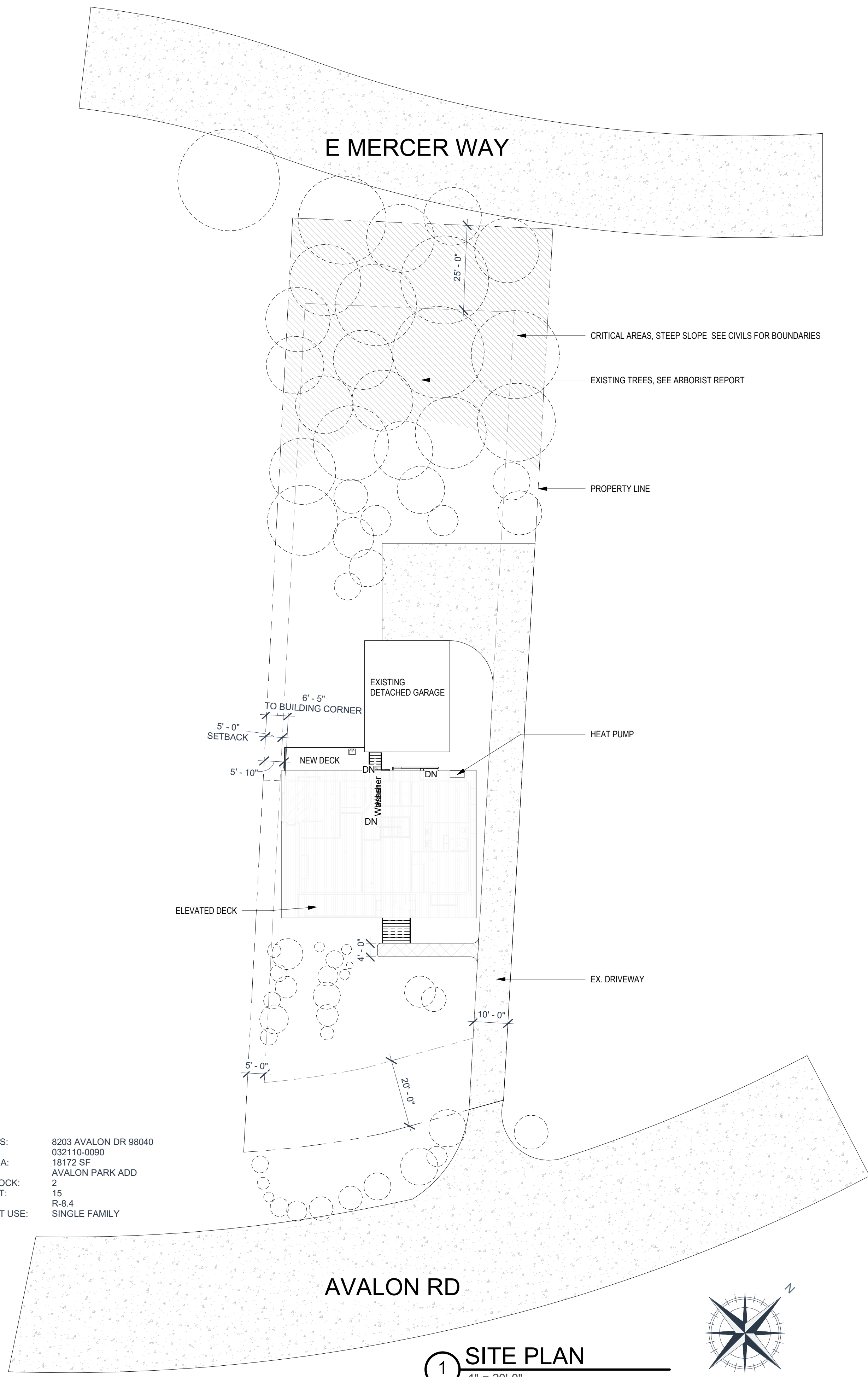


STABILIZED ACCESS SHALL BE USED IN ALL AREAS OF THE SITE WITH VEHICLE TRAFFIC AND PARKING, INCLUDING PLANTING STRIPS.

CLEARING LIMITS



ADDRESS: 8203 AVALON DR 98040
PARCEL: 032110-0090
LOT AREA: 18172 SF
LEGAL: AVALON PARK ADD
PLAT BLOCK: 2
PLAT LOT: 15
ZONING: R-8.4
PRESENT USE: SINGLE FAMILY



1 SITE PLAN
1" = 20'-0"

LOT COVERAGE

- EXISTING HARDSCAPE: SEE SURVEY
 - EXISTING DRIVEWAY: 1,690 SF
 - EXISTING ROOF SFR AND GARAGE: 3,201 SF
 - TOTAL: 4,891 SF
- PROPOSED HARDSCAPE: SEE CIVIL SITE PLAN
 - EXISTING DRIVEWAY: 1,650 SF
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 - GARAGE ROOF: 850 SF
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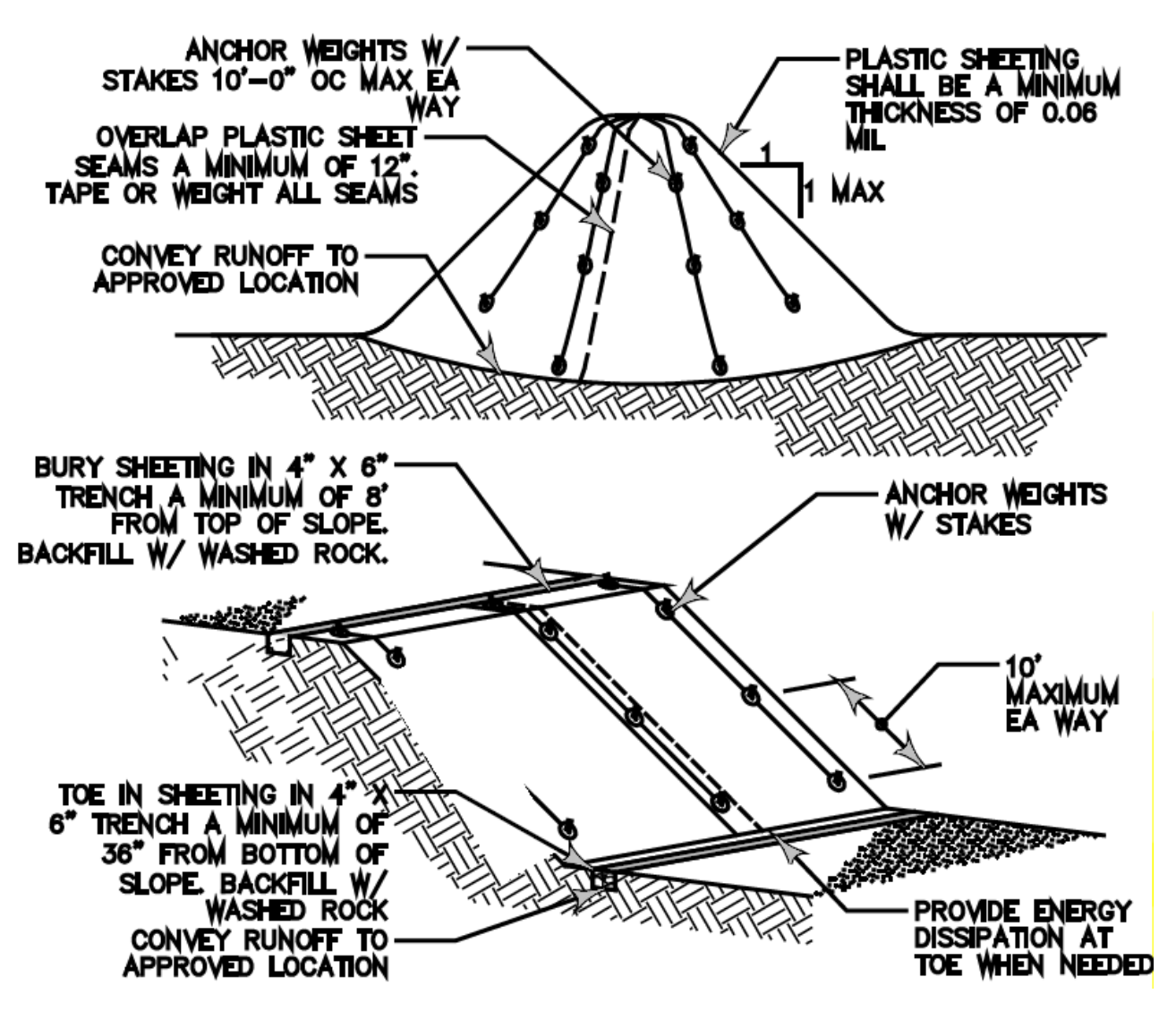
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 - ALLOWED GFA (40% OF LOT AREA): 7,269 SF- COMPLIES

PLASTIC COVERED STOCKPILE C.3.4



103 91st Ave SE, Lake Stevens, WA 98258 | 4254780327

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Registered Architect in WA State

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Wishwas Koushik Remodel

BUILDER NAME: Wishwas Mohan and Madhuth Koushik

BUILDER CONTACT: 8203 AVALON DR 98040

BUILDER ADDRESS: 8203 AVALON DR 98040

REV #	DATE	DESCRIPTION

STATUS: PERMIT

DPS PERMIT NUMBER: XXXXXX

BNA Project number: XXXXXX

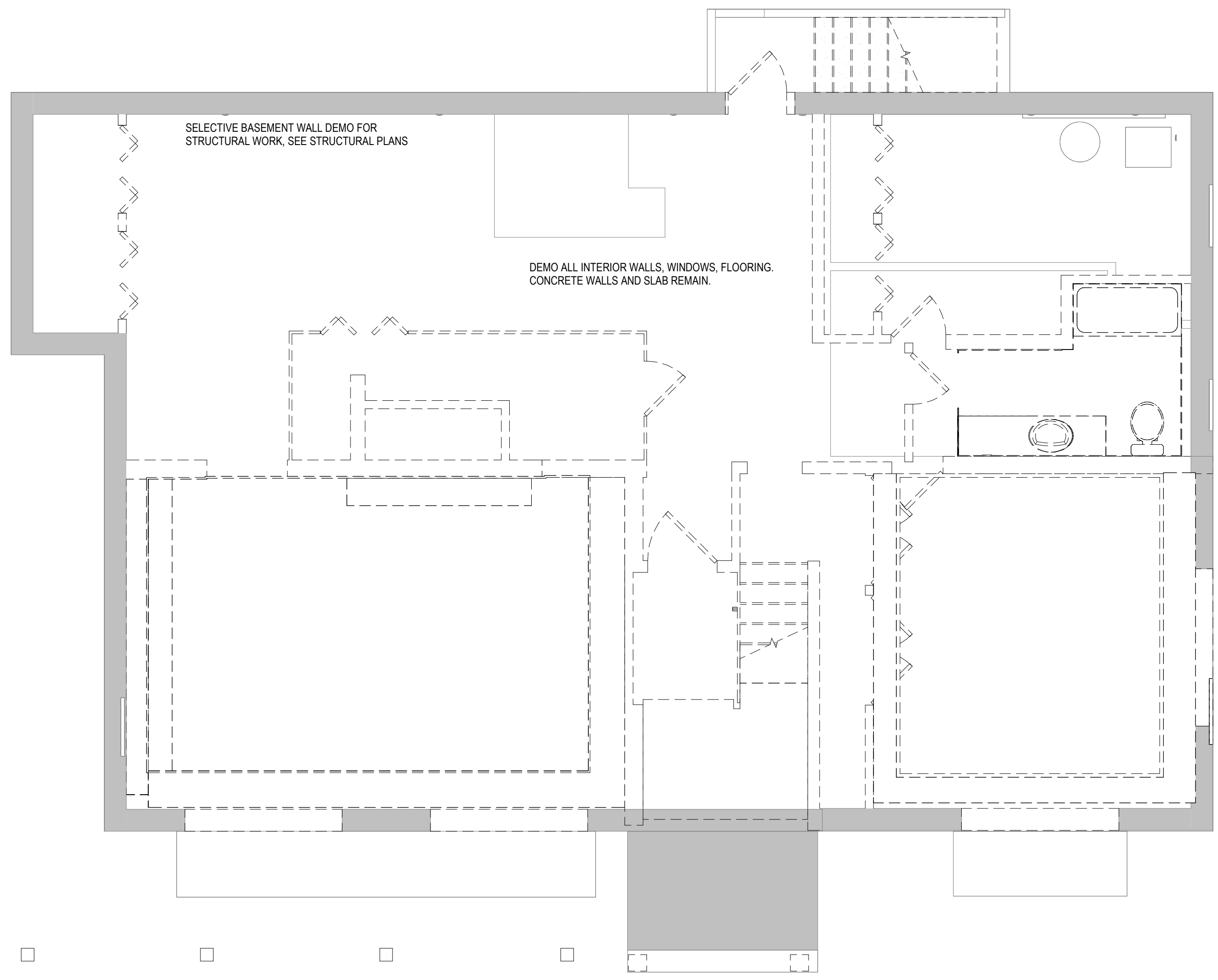
DRAWN BY: Author

SHEET NAME: SITE PLAN & ZONING

SHEET NO: Z001

Scale: As indicated

1 BASEMENT DEMO
1/4" = 1'-0"



DEMOLITION GENERAL NOTES

- A. EXISTING EXTERIOR AND FOUNDATION WALLS AND CONCRETE FOOTINGS TO REMAIN. EXISTING BASEMENT SLAB, TO REMAIN.
- B. REMOVE FROM SITE AND LEGALLY DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION AND CONSTRUCTION OPERATIONS.
- C. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY EXISTING UTILITIES NOT INDICATED ON DEMO/CONSTRUCTION PLANS THAT MAY INTERFERE WITH THE COMPLETION OF PROPOSED WORK.

--- TO BE REMOVED
 ■ EXISTING TO REMAIN

DEMOLITION KEYNOTES

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13073 REGISTERED ARCHITECT
 JENNYFER TAMBUN
 STATE OF WASHINGTON
 Registered Architect in WA State

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Wishwas Koushik Remodel

CLIENT NAME
Wishwas Mohan and Madhuri Koushik

PROJECT ADDRESS
8203 AVALON DR 98040

BUILDER NAME

BUILDER CONTACT

BUILDER ADDRESS

REVISION LOG		
REV #	DATE	DESCRIPTION

STATUS: **PERMIT**

DPS PERMIT NUMBER: _____

BNA Project number: **XXXXXX**

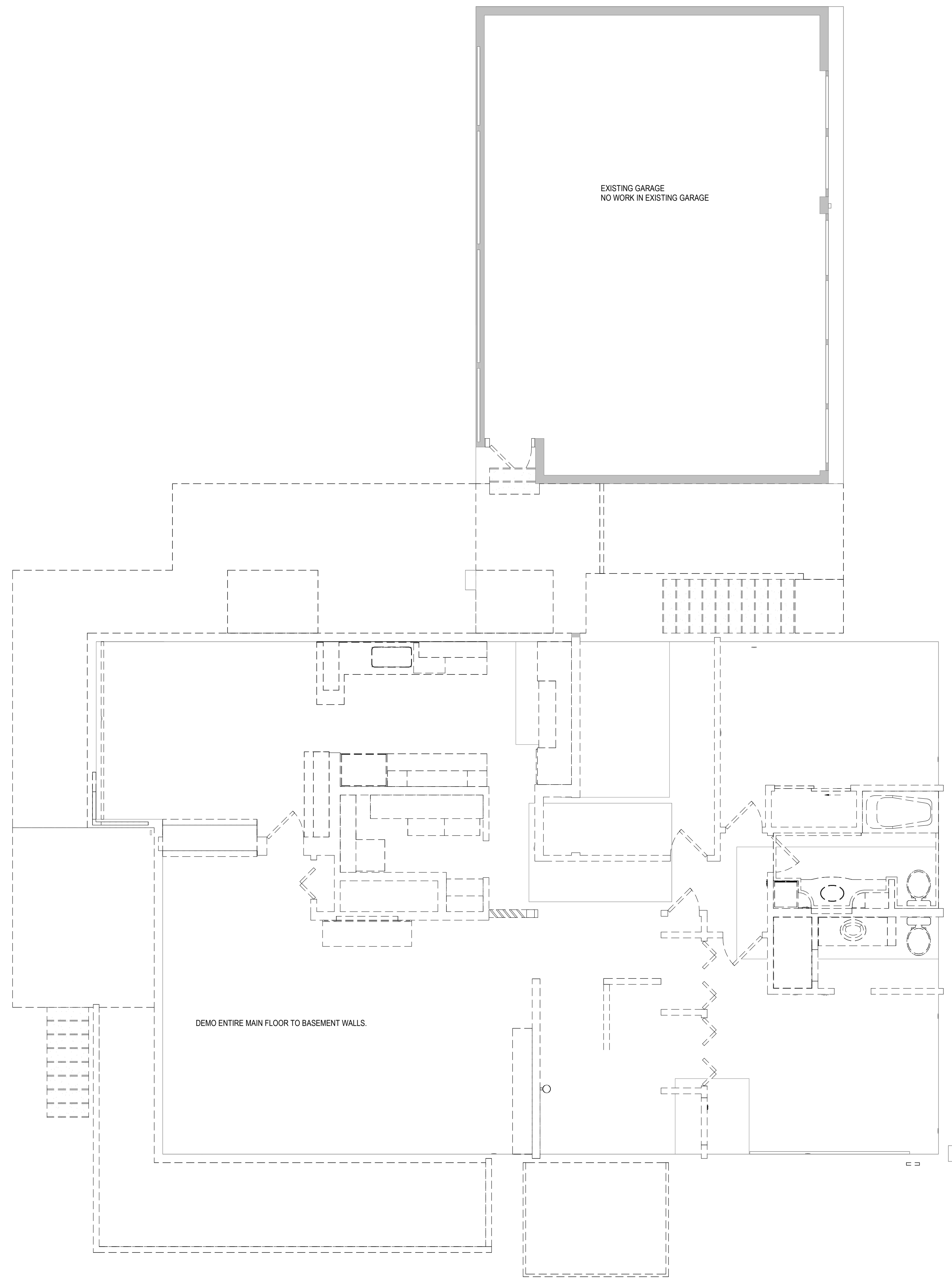
DRAWN BY: **Author**

SHEET NAME: **BASEMENT DEMO**

SHEET NO.: **A000**

Scale: **1/4" = 1'-0"**

FILE PATH: Z:\Share\RESIDENTIAL\Maddy and Vishy\03 Revit\03 Work\Visy and Madh LARGE (1.1).rvt
 PLOT DATE: 12/15/2025 4:07:56 PM



DEMOLITION GENERAL NOTES

- A. EXISTING EXTERIOR AND FOUNDATION WALLS AND CONCRETE FOOTINGS TO REMAIN. EXISTING BASEMENT SLAB, TO REMAIN.
- B. REMOVE FROM SITE AND LEGALLY DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION AND CONSTRUCTION OPERATIONS.
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--- TO BE REMOVED
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DEMOLITION KEYNOTES

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Wishwas Koushik Remodel

BUILDER NAME: Wishwas Mohan and Madhuri Koushik
 BUILDER CONTACT: 8203 AVALON DR 98040
 BUILDER ADDRESS: 8203 AVALON DR 98040

REVISION LOG

REV #	DATE	DESCRIPTION

STATUS: PERMIT

DPS PERMIT NUMBER:

BNA Project number: XXXXXX

DRAWN BY: Author

SHEET NAME: FIRST FLOOR DEMO

SHEET NO. A001

Scale: 1/4" = 1'-0"

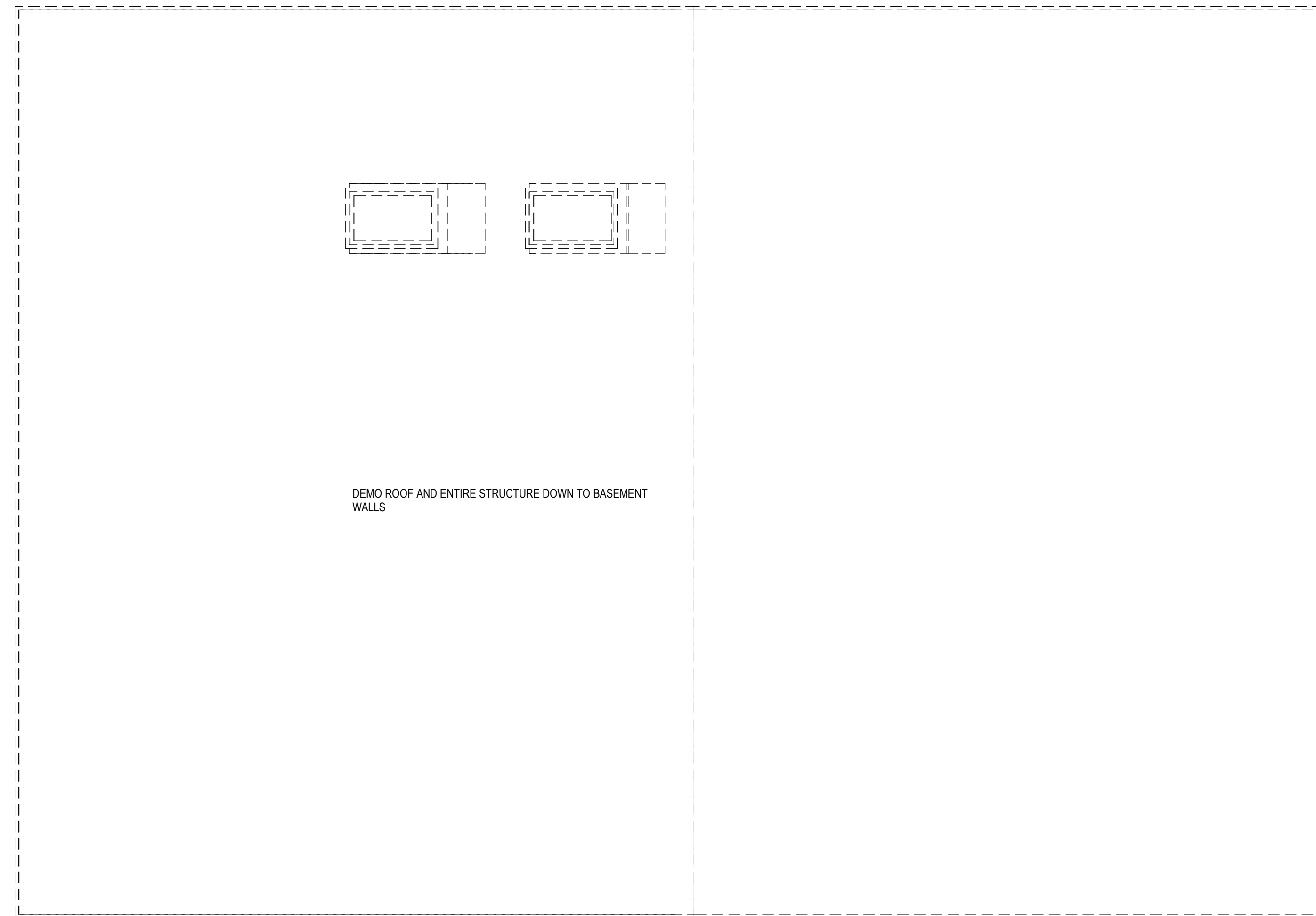
1 FIRST FLOOR DEMO
 1/4" = 1'-0"

DEMOLITION GENERAL NOTES

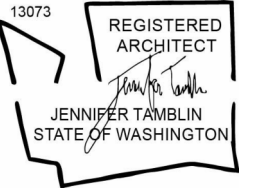
- A. EXISTING EXTERIOR AND FOUNDATION WALLS AND CONCRETE FOOTINGS TO REMAIN. EXISTING BASEMENT SLAB, TO REMAIN.
- B. REMOVE FROM SITE AND LEGALLY DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION AND CONSTRUCTION OPERATIONS.
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--- TO BE REMOVED
 ■ EXISTING TO REMAIN

DEMOLITION KEYNOTES



1 ROOF PLAN DEMO
 1/4" = 1'-0"



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Wishwas Koushik Remodel

CLIENT NAME
Wishwas Mohan and Madhuri Koushik

BUILDER NAME
 BUILDER CONTACT
 BUILDER ADDRESS

PROJECT ADDRESS
8203 AVALON DR 98040

REVISION LOG

REV #	DATE	DESCRIPTION

STATUS: **PERMIT**

DPS PERMIT NUMBER:

BNA Project number: **XXXXXX**

DRAWN BY: **Author**

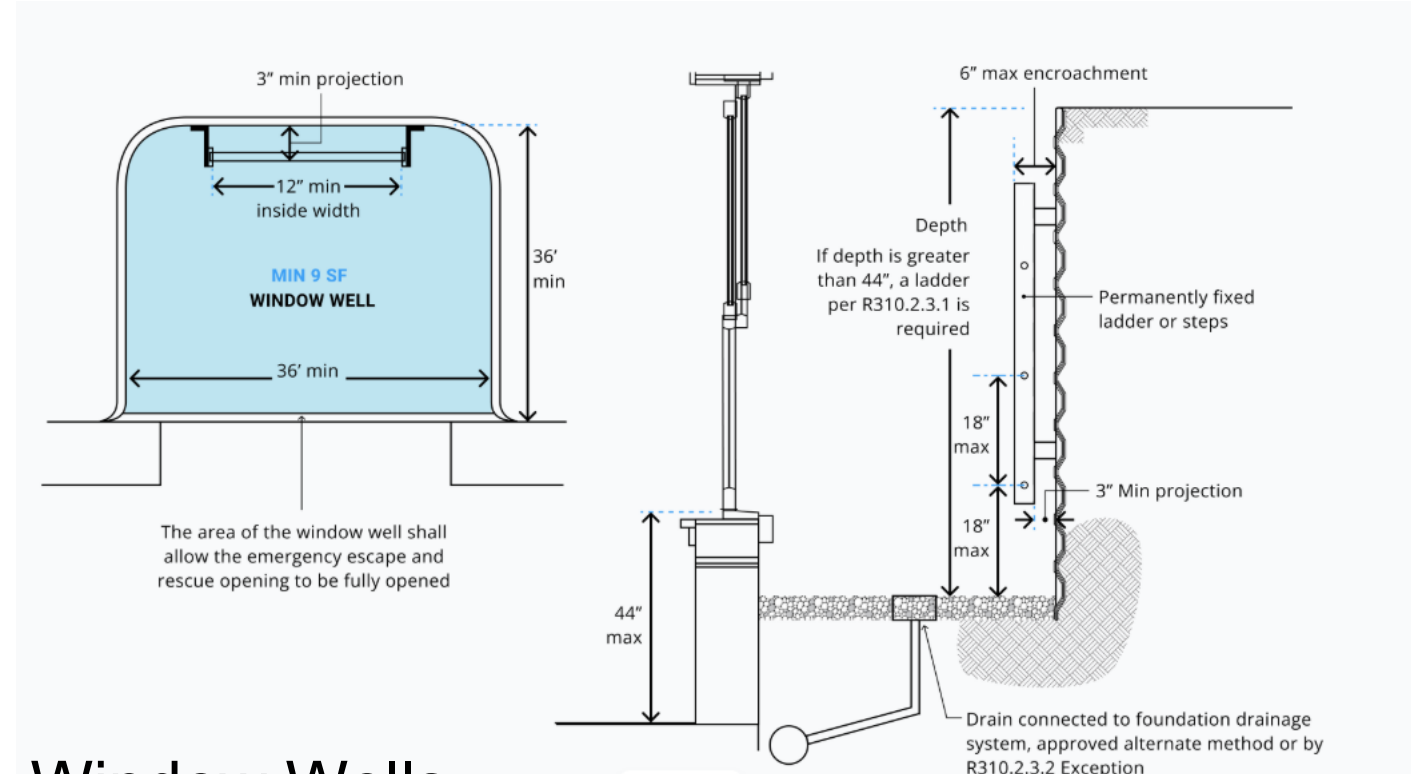
SHEET NAME

ROOF DEMO

SHEET NO.

A002

Scale 1/4" = 1'-0"



2 Window Wells
1/2" = 1'-0"

WINDOW WELLS (R310.2): ALL BASEMENT-LEVEL EMERGENCY ESCAPE AND RESCUE WINDOW WELLS SHALL COMPLY WITH IRC R310.2. MINIMUM CLEAR HORIZONTAL AREA SHALL BE ≥9 SQ. FT. WITH A MINIMUM PROJECTION OF ≥36 INCHES. WELLS DEEPER THAN 44 INCHES SHALL BE PROVIDED WITH A PERMANENTLY AFFIXED LADDER OR STEPS THAT DO NOT ENCROACH UPON THE REQUIRED WINDOW OPENING DIMENSIONS. ALL WELLS SHALL INCLUDE APPROVED DRAINAGE TO PREVENT WATER ACCUMULATION.

ALL WINDOW WELLS SHALL COMPLY WITH IRC R310.4. WHERE A WINDOW WELL PRESENTS A VERTICAL FALL GREATER THAN 30 INCHES WITHIN 36 INCHES OF AN ADJACENT WALKING SURFACE, ONE OF THE FOLLOWING SHALL BE PROVIDED:

1. A GUARD IN ACCORDANCE WITH IRC R312.1, OR
2. A COMPLIANT COVER PER IRC R310.4,

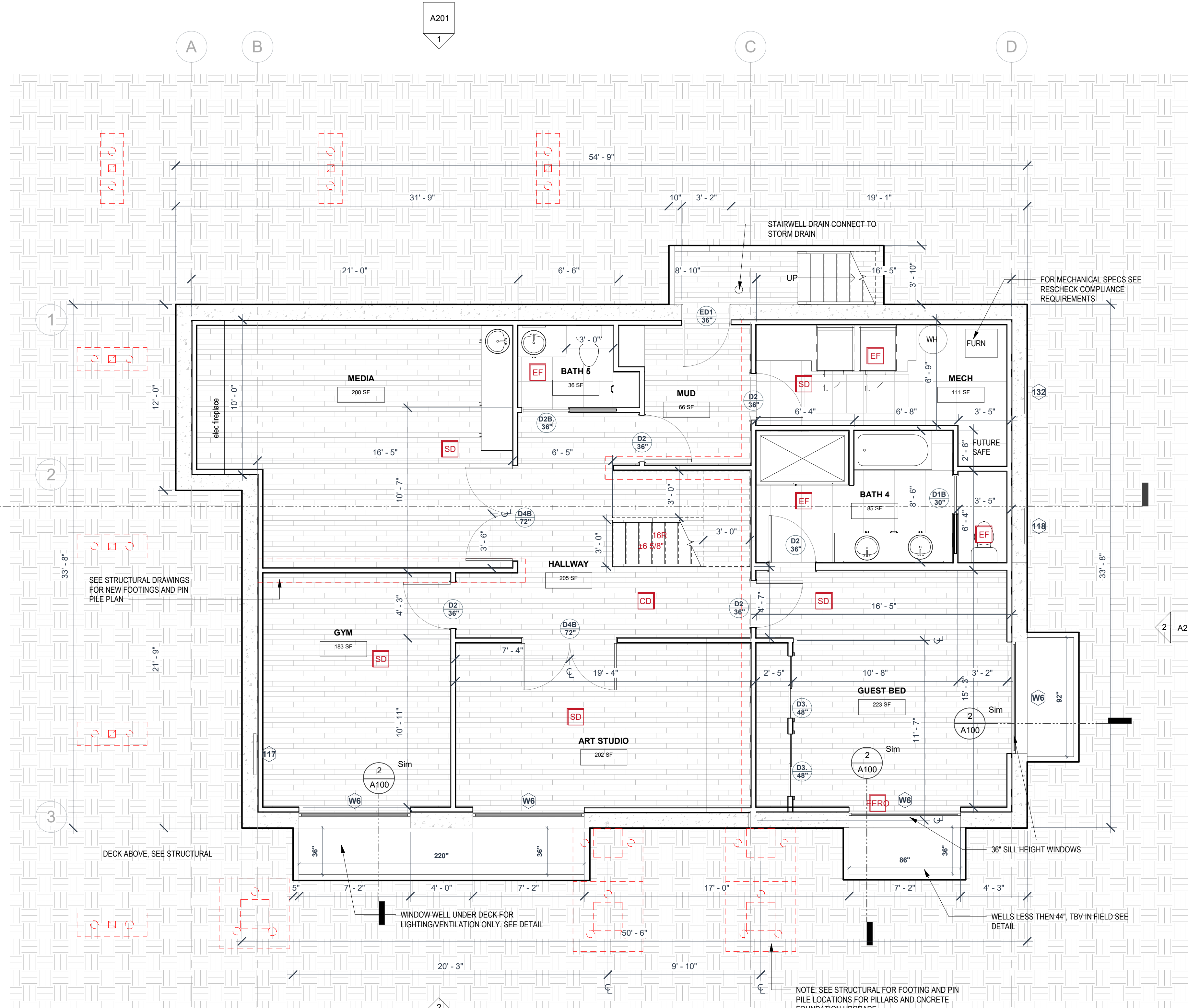
FLOOR PLAN GENERAL NOTES

1. ALL DIMENSIONS ARE FROM FACE OF STUD OF NEW WALLS AND FINISHED SURFACE OF EXISTING WALLS UNLESS OTHERWISE NOTED.
2. TYPICAL INTERIOR PARTITION IS 2x4 STUD @ 16" O.C. WITH ONE LAYER OF 1/2" GYP BOARD ON EACH SIDE, EXCEPT WHERE NOTED ON PLANS. USE 2x6 STUDS AT PLUMBING WALLS.
3. 50 CFM EXHAUST FAN AT ALL NEW BATHROOMS
4. CONTRACTOR WILL APPLY FOR PLUMBING, MECHANICAL, ELECTRICAL PERMITS SEPARATELY.
5. WHOLE HOUSE FAN SHALL BE LOCATED/ASSOCIATED WITH THE MAIN FLOOR LAUNDRY FAN (CONTRACTOR TO VERIFY). THIS FAN TO BE EQUIPPED WITH CONTROLS CAPABLE OF MANUAL AND AUTOMATIC OPERATION, SUCH AS A CLOCK TIMER AND SHALL BE DESIGNED TO RUN CONTINUOUSLY PER IRC M1507.3.3
3.1 IN NEW MASTER BATH AND W.C ON MAIN FLOOR, INSTALL PANASONIC WHISPERQUIET FAN SIZED PER SPACE (75 CFM, 1.0 SONES OR BETTER) FANS SHALL TERMINATE HORIZONTALLY TO THE EXTERIOR OF THE HOUSE.
3.2 NEW KITCHEN HOOD TO BE SELECTED- MIN 100 CFM, 1.5 SONES OR BETTER, FANS SHALL TERMINATE HORIZONTALLY OR VERTICALLY TO THE EXTERIOR OF THE HOUSE.
6. DOOR JAMBS SHALL BE 3 1/2" TYPICAL UNLESS OTHERWISE NOTES
7. CONTRACTOR TO VERIFY TO INSPECTOR PRIOR TO FINAL DEMO INSPECTION, LOCATION, AND CONFIRMATION OF NON-STRUCTURAL DEMOED WALLS.
8. ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WITH BATTERY BACK-UP. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVERCURRENT PROTECTION. SMOKE ALARMS SHALL BE INTERCONNECTED AND COMPLY WITH HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. CONTRACTOR TO PULL FIRE ALARM PERMIT FOR APPROPRIATE FIRE ALARM SYSTEM INSTALLER.
9. KITCHEN EXHAUST FAN 160 CFM INTERMITTENT ELECTRIC RANGE. 250 CFM COMBUSTION RANGE. IF DOWNDRAFT 300 CFM INTERMITTENT REQUIRED. PER M1905.4.4(1).
10. BATHROOM EXHAUST FAN TO BE A MINIMUM OF 50 CFM
11. SAUNA REQUIREMENTS TO CONFORM WITH M1902 (1-4). COMPLY WITH M1902.4 CONTROLS: SAUNA HEATERS SHALL BE EQUIPPED WITH A THERMOSTAT THAT WILL LIMIT ROOM TEMPERATURE TO NOT GREATER THAN 194°F (90°C), WHERE THE THERMOSTAT IS NOT AN INTEGRAL PART OF THE HEATER, THE HEAT-SENSING ELEMENT SHALL BE LOCATED WITHIN 6 INCHES OF THE CEILING.
NFPA 13D FIRE SPRINKLER SYSTEM IN COMPLIANCE WITH NFPA 13D AND COMI STANDARDS SHALL BE INSTALLED THROUGHOUT THE RESIDENCE. SEPARATE FIRE PERMIT IS REQUIRED.

NEW CONSTRUCTION
EXISTING TO REMAIN

FLOOR PLAN KEYNOTES

- CD CARBON MONOXIDE DETECTOR
- EER <varies>
- O
- EF EXHAUST FAN
- EV EXHAUST VENT
- SD SMOKE DETECTOR
- WH 60 CFM WHOLE HOUSE FAN



1 BASEMENT PLAN
1/4" = 1'-0"

DRIFT INTERIOR ARCHITECTURE

103 91st Ave SE, Lake Stevens, WA 98298 4254780327

www.drift-ia.com

REGISTERED ARCHITECT
JENNY TAMLIN
STATE OF WASHINGTON

Registered Architect in WA State

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Wishwas Koushik Remodel

CLIENT NAME: Wishwas Mohan and Madhuri Koushik
PROJECT ADDRESS: 8203 AVALON DR 98040

BUILDER NAME
BUILDER CONTACT
BUILDER ADDRESS

REV #	DATE	DESCRIPTION

STATUS: PERMIT

DPS PERMIT NUMBER:

BNA Project number: XXXXXX

DRAWN BY: Author

SHEET NAME: FLOOR PLAN

SHEET NO: A100

Scale: As indicated

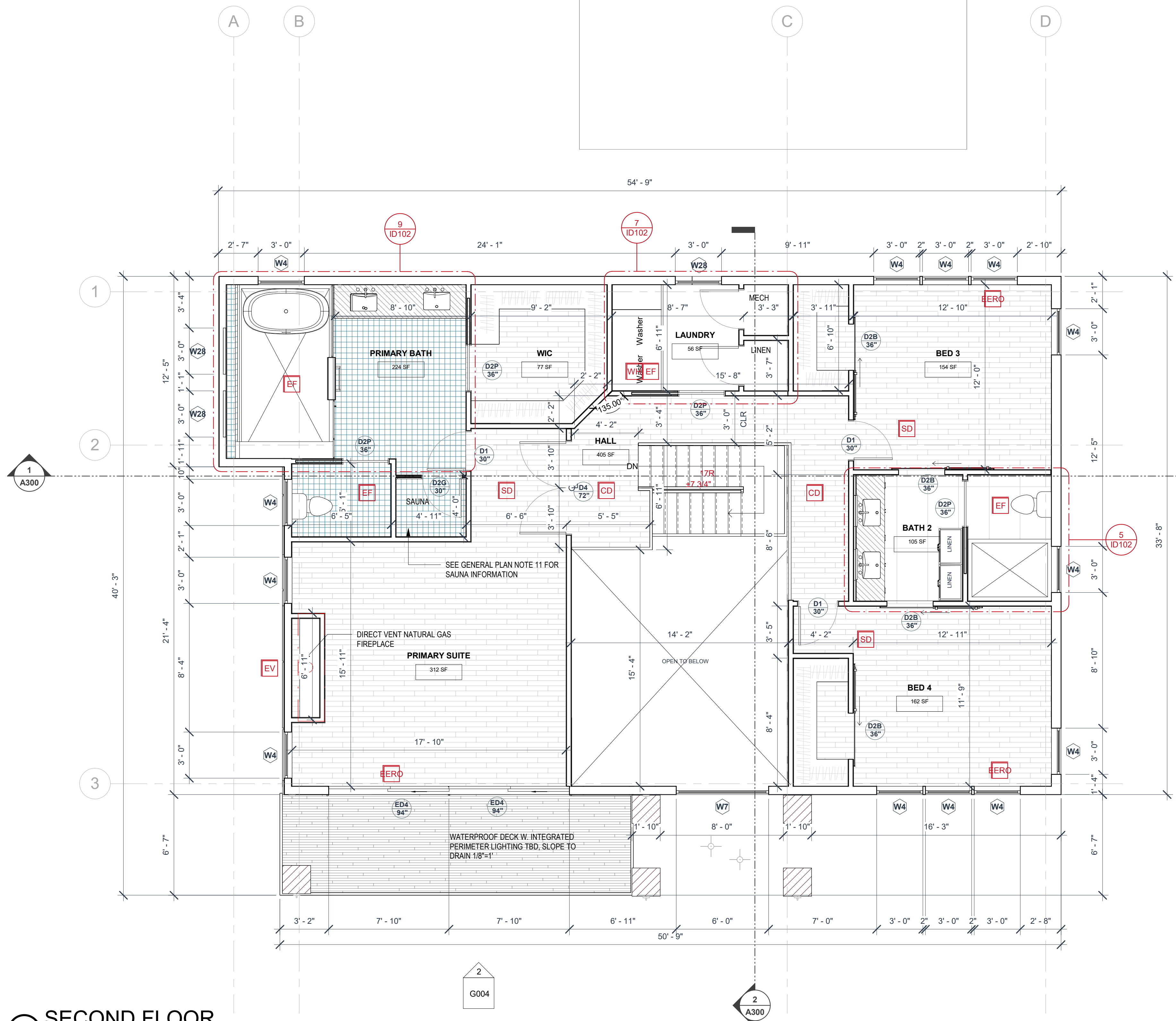
FLOOR PLAN GENERAL NOTES

- ALL DIMENSIONS ARE FROM FACE OF STUD OF NEW WALLS AND FINISHED SURFACE OF EXISTING WALLS UNLESS OTHERWISE NOTED.
- TYPICAL INTERIOR PARTITION IS 2x4 STUD @ 16" O.C. WITH ONE LAYER OF 1/2" GYP BOARD ON EACH SIDE, EXCEPT WHERE NOTED ON PLANS. USE 2x6 STUDS AT PLUMBING WALLS.
- 50 CFM EXHAUST FAN AT ALL NEW BATHROOMS
- CONTRACTOR WILL APPLY FOR PLUMBING, MECHANICAL, ELECTRICAL PERMITS SEPARATLY.
- WHOLE HOUSE FAN SHALL BE LOCATED/ASSOCIATED WITH THE MAIN FLOOR LAUNDRY FAN (CONTRACTOR TO VERIFY). THIS FAN TO BE EQUIPPED WITH CONTROLS CAPABLE OF MANUAL AND AUTOMATIC OPERATION, SUCH AS A CLOCK TIMER AND SHALL BE DESIGNED TO RUN CONTINUOUSLY PER IRC M1507.3.3
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- KITCHEN EXHAUST FAN 160 CFM INTERMITTENT ELECTRIC RANGE. 250 CFM COMBUSTION RANGE. IF DOWNDRAFT 300 CFM INTERMITTENT REQUIRED. PER M1505.4.4(1).
- BATHROOM EXHAUST FAN TO BE A MINIMUM OF 50 CFM
- SAUNA REQUIREMENTS TO CONFORM WITH M1902 (1-4), COMPLY WITH M1902.4 CONTROLS; SAUNA HEATERS SHALL BE EQUIPPED WITH A THERMOSTAT THAT WILL LIMIT ROOM TEMPERATURE TO NOT GREATER THAN 194°F (90°C), WHERE THE THERMOSTAT IS NOT AN INTEGRAL PART OF THE HEATER, THE HEAT-SENSING ELEMENT SHALL BE LOCATED WITHIN 6 INCHES OF THE CEILING.
- NFPA 13D FIRE SPRINKLER SYSTEM IN COMPLIANCE WITH NFPA 13D AND COMI STANDARDS SHALL BE INSTALLED THROUGHOUT THE RESIDENCE. A SEPARATE FIRE PERMIT IS REQUIRED.
- FOR ALL EXTERIOR LIGHTS PROVIDE MANUAL ON/OFF SWITCHES AND DAYLIGHT SENSORS FOR ANY FIXTURES OVER 30 WATTS.

NEW CONSTRUCTION
EXISTING TO REMAIN

FLOOR PLAN KEYNOTES

CD	CARBON MONOXIDE DETECTOR
EER	<varies>
O	
EF	EXHAUST FAN
EV	EXHAUST VENT
SD	SMOKE DETECTOR
WH	60 CFM WHOLE HOUSE FAN



1 SECOND FLOOR
1/4" = 1'-0"

Wishwas Koushik Remodel

CLIENT NAME
Wishwas Mohan and Madhuri Koushik

BUILDER NAME
8203 AVALON DR 98040

BUILDER CONTACT
PROJECT ADDRESS

BUILDER ADDRESS

REV #	DATE	DESCRIPTION

STATUS: **PERMIT**

DPS PERMIT NUMBER: **XXXXXX**

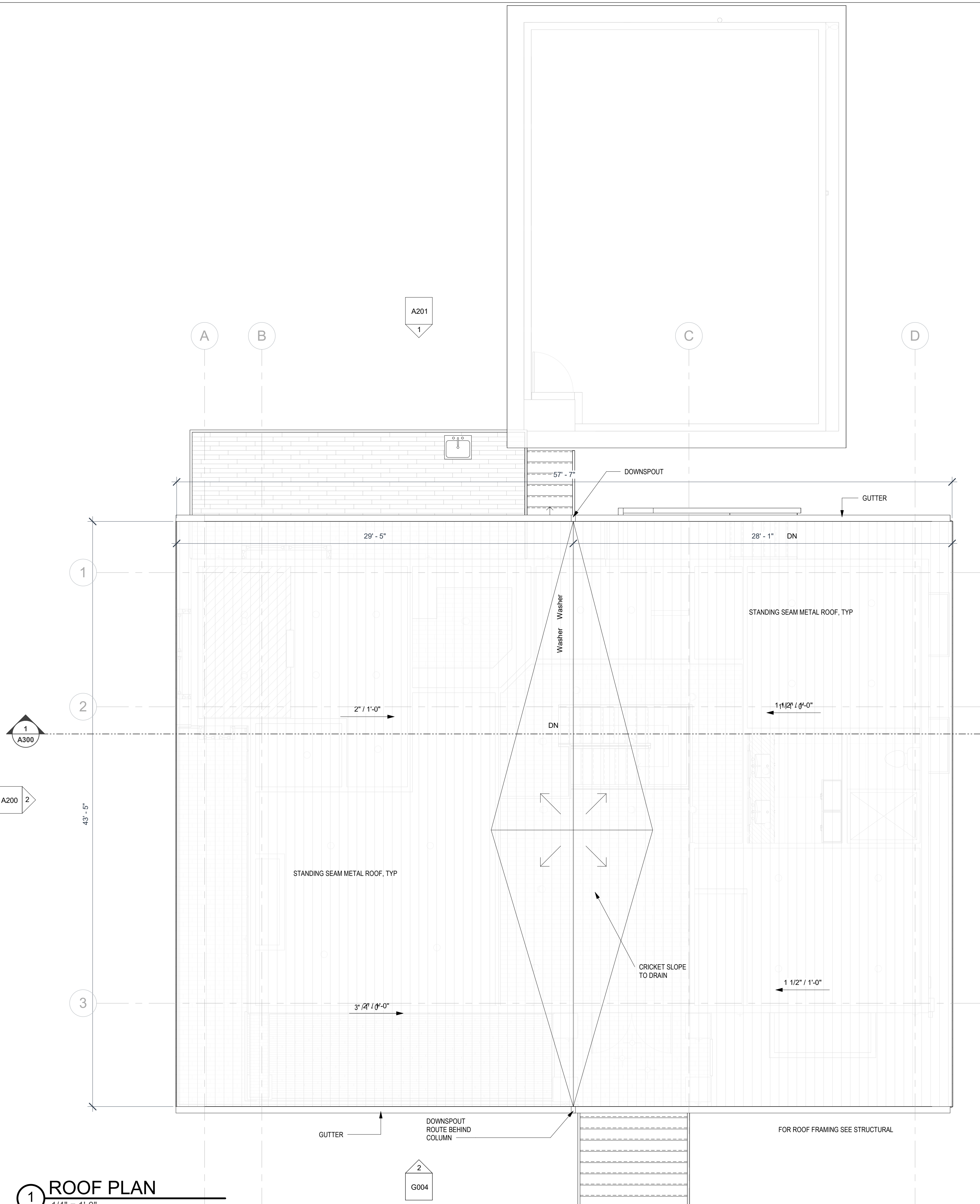
BNA Project number: **XXXXXX**

DRAWN BY: **Author**

SHEET NAME: **FLOOR PLAN**

SHEET NO: **A102**

Scale: 1/4" = 1'-0"



1 ROOF PLAN
1/4" = 1'-0"

FLOOR PLAN GENERAL NOTES

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- TYPICAL INTERIOR PARTITION IS 2x4 STUD @ 16" O.C. WITH ONE LAYER OF 1/2" GYP BOARD ON EACH SIDE, EXCEPT WHERE NOTED ON PLANS. USE 2x6 STUDS AT PLUMBING WALLS.
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— NEW CONSTRUCTION
 — EXISTING TO REMAIN

FLOOR PLAN KEYNOTES

CD	CARBON MONOXIDE DETECTOR
EER	<varies>
O	
EF	EXHAUST FAN
EV	EXHAUST VENT
SD	SMOKE DETECTOR
WH	60 CFM WHOLE HOUSE FAN

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Wishwas Koushik Remodel

CLIENT NAME: Wishwas Mohan and Madhuri Koushik
 PROJECT ADDRESS: 8203 AVALON DR 98040

BUILDER NAME: _____
 BUILDER CONTACT: _____
 BUILDER ADDRESS: _____

REVISION LOG		
REV #	DATE	DESCRIPTION

STATUS: **PERMIT**

DPS PERMIT NUMBER: _____

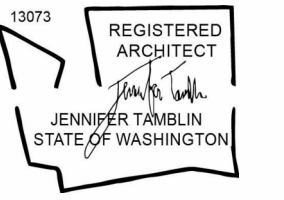
BNA Project number: XXXXXX

DRAWN BY: Author

SHEET NAME: **ROOF PLAN**

SHEET NO. **A103**

Scale: 1/4" = 1'-0"



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Wishwas Koushik Remodel

BUILDER NAME: Wishwas Mohan and Madhuri Koushik
 BUILDER CONTACT: 8203 AVALON DR 98040
 BUILDER ADDRESS: 8203 AVALON DR 98040

REVISION LOG

REV #	DATE	DESCRIPTION

STATUS: PERMIT

DPS PERMIT NUMBER: XXXXXX

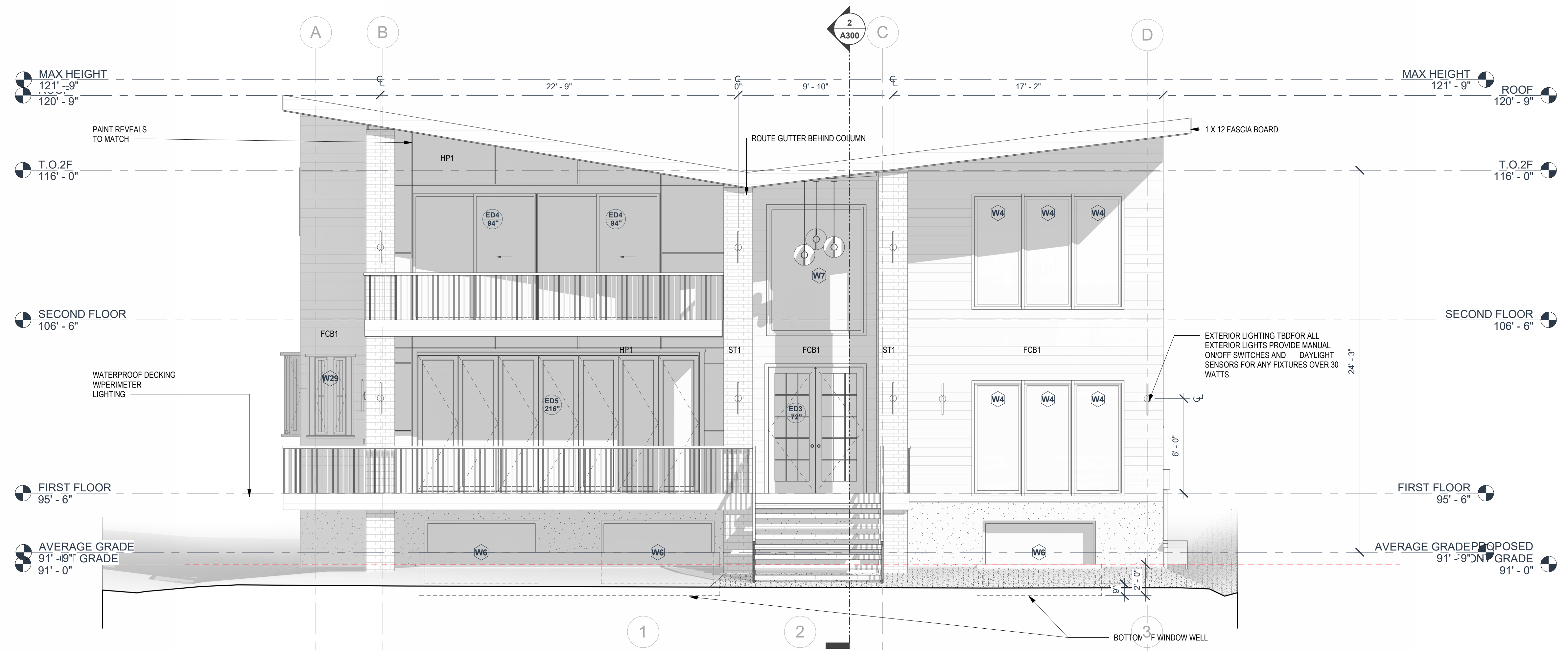
BNA Project number: XXXXXX

DRAWN BY: Author

SHEET NAME: BUILDING ELEVATION

SHEET NO. A200

Scale: 1/4" = 1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"



2 LEFT ELEVATION
1/4" = 1'-0"

EXTERIOR FINISH LEGEND:
 HP1- HARD PANEL
 ST1- STONE VENEER
 FCB1- HORIZONTAL FIBER CEMENT BOARD



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Wishwas Koushik Remodel

BUILDER NAME: _____
BUILDER CONTACT: _____
BUILDER ADDRESS: _____
CLIENT NAME: Wishwas Mohan and Madhuri Koushik
PROJECT ADDRESS: 8203 AVALON DR 98040

REVISION LOG

REV #	DATE	DESCRIPTION

STATUS: _____ PERMIT

DPS PERMIT NUMBER: _____

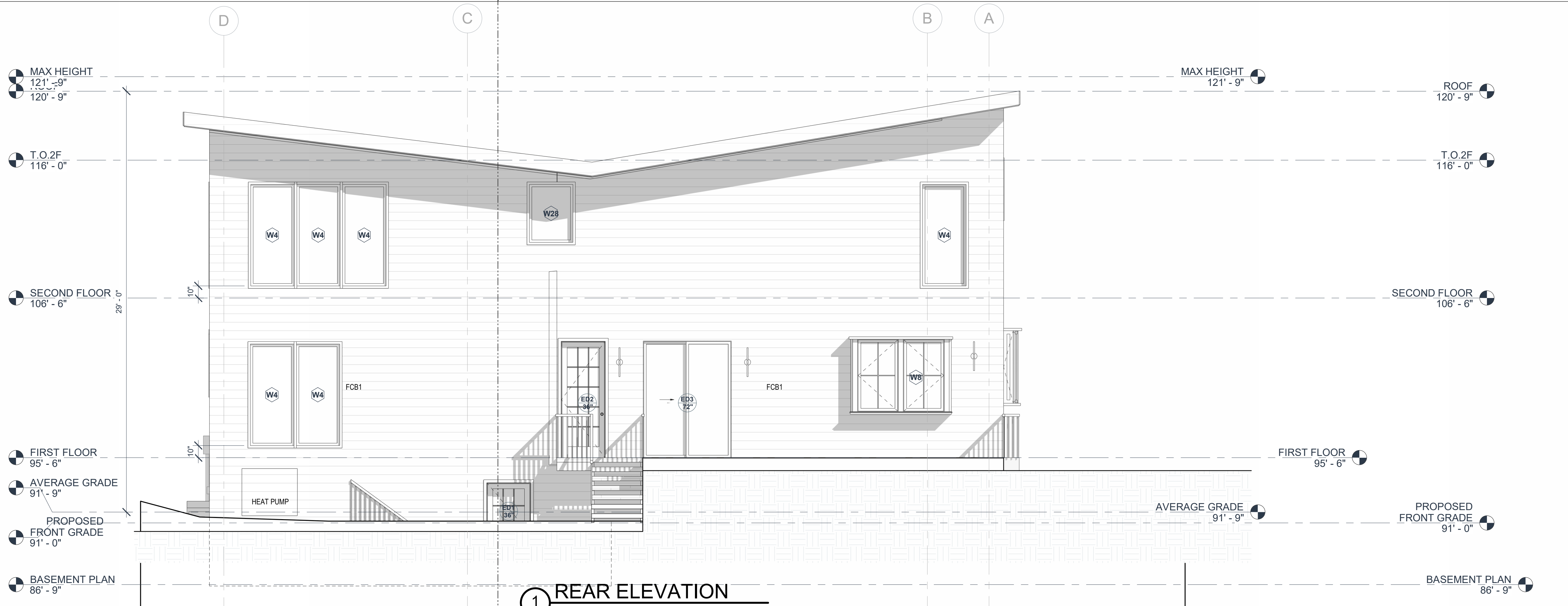
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DRAWN BY: Author

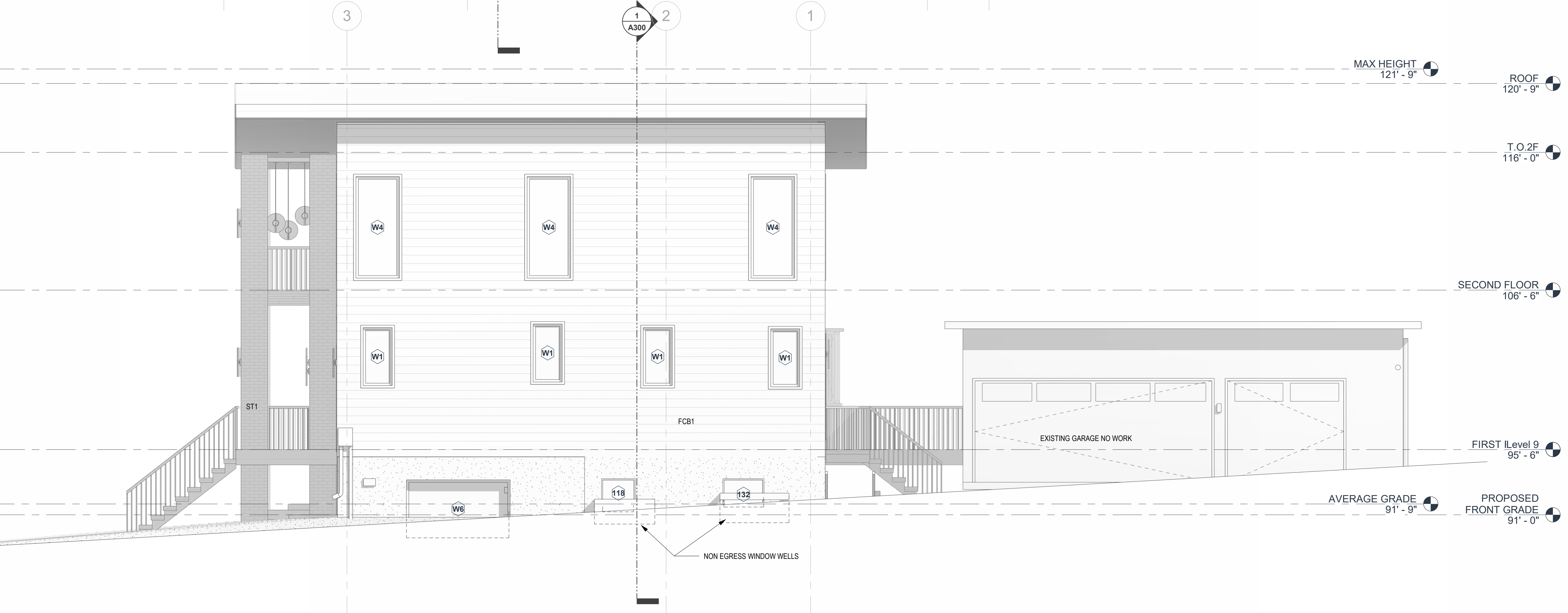
SHEET NAME: BUILDING ELEVATION

SHEET NO. A201

Scale: 1/4" = 1'-0"



1 REAR ELEVATION
1/4" = 1'-0"



2 RIGHT ELEVATION
1/4" = 1'-0"

EXTERIOR FINISH LEGEND:
HP1- HARDIPANEL
ST1- STONE VENEER
FCB1- HORIZONTAL FIBER CEMENT BOARD



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Wishwas Koushik Remodel

BUILDER NAME
BUILDER CONTACT
BUILDER ADDRESS

CLIENT NAME
Wishwas Mohan and Madhuri Koushik

PROJECT ADDRESS
8203 AVALON DR 98040

REVISION LOG

REV #	DATE	DESCRIPTION

STATUS: **PERMIT**

DPS PERMIT NUMBER:

BNA Project number: **XXXXXX**

DRAWN BY: **Author**

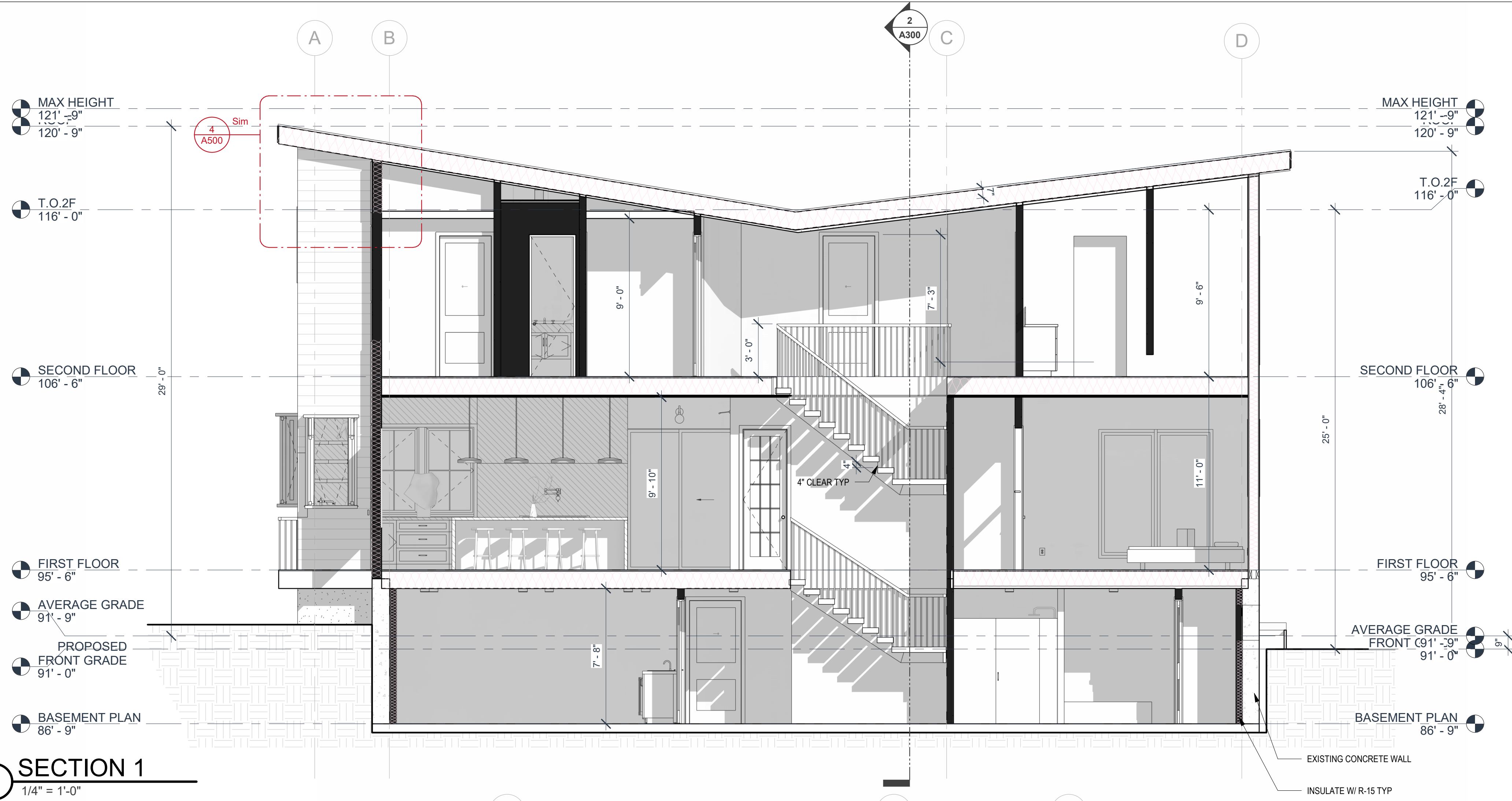
SHEET NAME

BUILDING SECTIONS

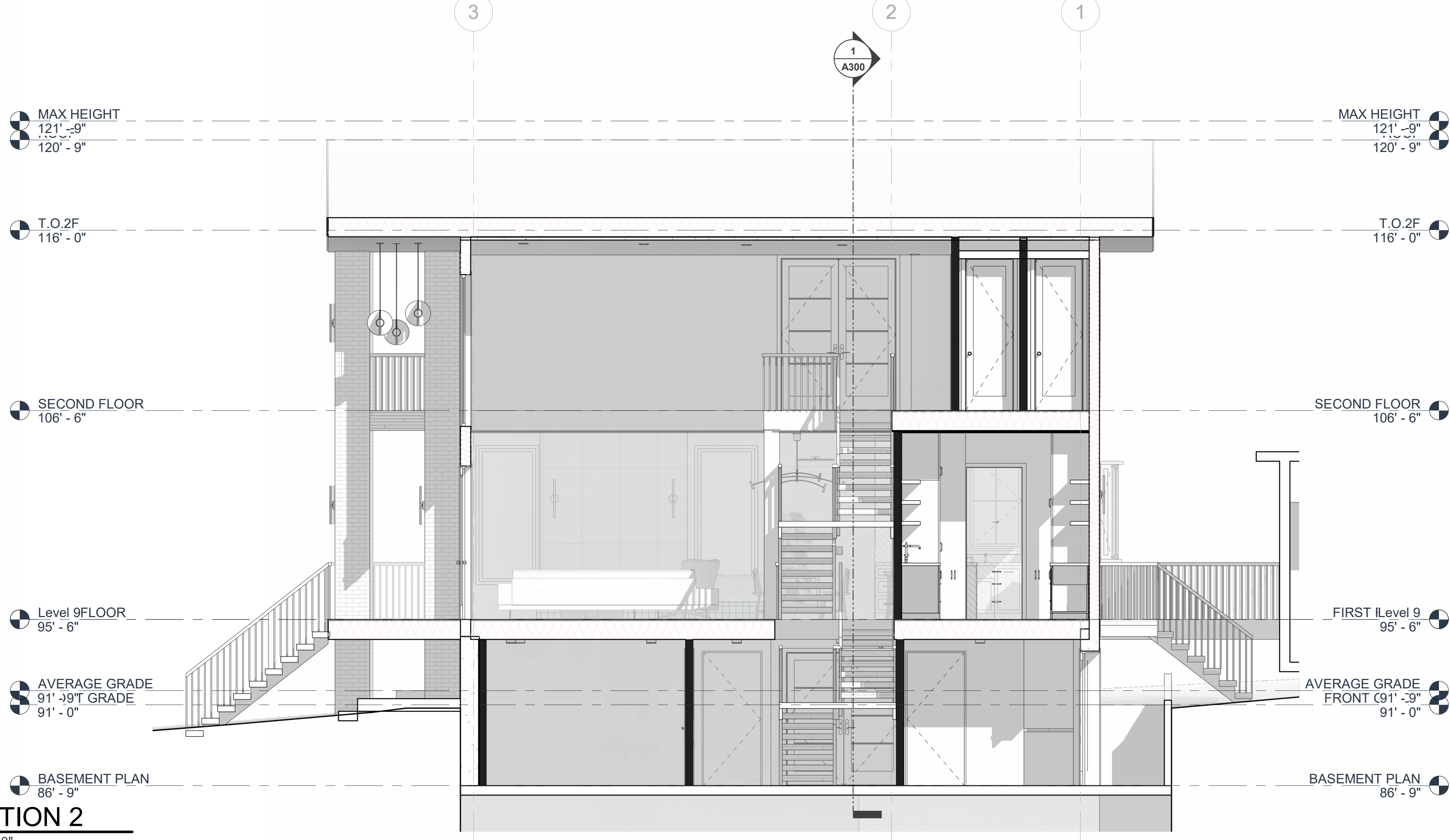
SHEET NO.

A300

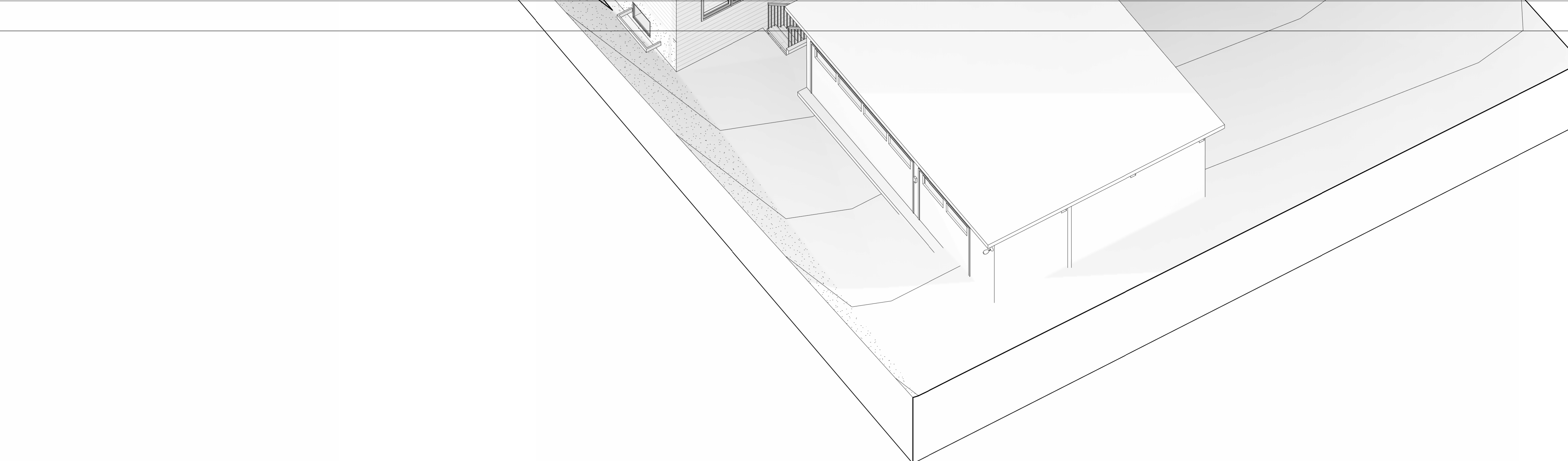
Scale **1/4" = 1'-0"**



1 SECTION 1
1/4" = 1'-0"



2 SECTION 2
1/4" = 1'-0"



1 3D VIEW 1



2 3D VIEW 2



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Wishwas Koushik Remodel

BUILDER NAME
 BUILDER CONTACT
 BUILDER ADDRESS
 CLIENT NAME
Wishwas Mohan and Madhuri Koushik
 PROJECT ADDRESS
8203 AVALON DR 98040

REVISION LOG

REV #	DATE	DESCRIPTION

STATUS: **PERMIT**

DPS PERMIT NUMBER:

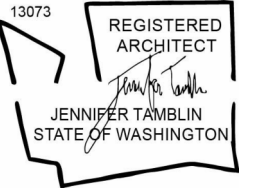
BNA Project number: **XXXXXX**

DRAWN BY: **Author**

SHEET NAME
3D VIEWS

SHEET NO.
A400

Scale



Registered Architect in WA State

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DOOR SCHEDULE - EXTERIOR											
NUMBER	DOOR				FRAME		FIRE RATING	HARDWARE		GLAZING AREA	NOTES
	WIDTH	HEIGHT	MATERIAL	FINISH	MATERIAL	FINISH		GROUP	CLOSER		
ED1	3' - 0"	7' - 0"								24 SF	
ED2	3' - 0"	8' - 0"								24 SF	
ED3	6' - 0"	8' - 0"								48 SF	
ED4	7' - 10"	8' - 0"								66 SF	SLIDING DOOR
ED5	18' - 0"	9' - 0"								140 SF	

Grand total: 7

DOOR SCHEDULE - INTERIOR										
NUMBER	DOOR				FRAME		FIRE RATING	HARDWARE		NOTES
	WIDTH	HEIGHT	MATERIAL	FINISH	MATERIAL	FINISH		GROUP	CLOSER	
D1	2' - 6"	8' - 0"								<varies>
D1B	2' - 6"	7' - 0"								POCKET DOOR
D1P	2' - 6"	8' - 0"								POCKET DOOR
D2	3' - 0"	7' - 0"								<varies>
D2B	3' - 0"	8' - 0"								BARN DOOR
D2B.	3' - 0"	7' - 0"								POCKET DOOR
D2G	<varies>	8' - 0"								SWING DOOR
D2P	3' - 0"	8' - 0"								POCKET DOOR
D3	4' - 0"	8' - 0"								SLIDING DOOR
D3.	4' - 0"	7' - 0"								SLIDING DOOR
D4	6' - 0"	8' - 0"								SWING DOOR
D4B	6' - 0"	7' - 0"								<varies>
D6	3' - 0"	8' - 0"								
D7	2' - 6"	8' - 0"								
D8	2' - 6"	8' - 0"								

Grand total: 35

DOOR AND WINDOW GENERAL NOTES

- DOORS AND WINDOWS ARE TYPICALLY CENTERED IN WALL UNLESS DIMENSIONED OTHERWISE.
- DOOR HINGE JAMB TO BE 4 1/2" FROM ADJACENT WALL UNLESS OTHERWISE NOTED.
- DOOR AND WINDOW SIZES ARE NOMINAL, CONFIRM R.O. WITH MANUFACTURER.
- ALL DOOR AND WINDOW HEADERS TO ALIGN AT HEADER LEVEL.
- PROVIDE SAFETY GLAZING AT ALL LOCATIONS REQUIRED BY CODE (IRC R308.4)
- ALL EXTERIOR FENESTRATION TO MEET REQUIREMENTS OF CURRENT WASHINGTON STATE ENERGY CODE (W.S.E.C.) AS INDICATED IN ENERGY WORKSHEET.

DOOR SCHEDULE NOTES

- PROVIDE LOCKS
- PROVIDE KICK PLATE
- PROVIDE HOLD OPEN
- PROVIDE PULL AND PUSH PLATE
- INSULATED DOOR

GLAZING TYPE SCHEDULE:

- GL-1: TINTED
- GL-2: TEMPERED/ INSULATED
- GL-3: TEMPERED/FIRE RATED
- GL-4: TEMPERED

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 BUILDER ADDRESS:

REVISION LOG

REV #	DATE	DESCRIPTION

STATUS: PERMIT

DPS PERMIT NUMBER:

BNA Project number: XXXXXX

DRAWN BY: Author

SHEET NAME

DOOR TYPES & SCHEDULE

SHEET NO.

A600

Scale 1/4" = 1'-0"



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EXTERIOR GLAZING SCHEDULE									
TYPE MARK	COUNT	WIDTH	HEIGHT	U VALUE	WINDOW AREA	UA	OPERATION	FRAME MATERIAL	REMARKS
W1	4	2' - 0"	4' - 0"	0.25	32 SF	10 SF		FIBER GLASS	
W4	20	3' - 0"	7' - 0"	0.25	420 SF	126 SF	CASEMENT	FIBER GLASS	EERO WINDOWS NOTED IN PLAN. ALL GLAZING WIN 18" OF FLOOR TO BE TEMPERED
W6	4	7' - 2"	4' - 0"	0.25	115 SF	34 SF		FIBER GLASS	
W7	1	6' - 0"	8' - 0"	0.25	48 SF	14 SF		FIBER GLASS	
W8	2	6' - 0"	5' - 0"	0.25	60 SF	18 SF		FIBER GLASS	
W28	3	3' - 0"	4' - 0"	0.25	36 SF	11 SF		FIBER GLASS	<varies>
W29	1	2' - 0"	5' - 0"	0.25	10 SF	3 SF		FIBER GLASS	
TOTAL: 35	35				721 SF	216 SF			

NOTE: ALL WINDOWS TO BE MARVIN MODERN DIRECT GLAZE FIBERGLASS EXTERIOR WITH ALUMINUM INTERIOR, OR EQUIVALENT

TYPES OF WINDOWS, MOST WILL BE CASEMENT OR SLIDERS OR PICTURE. EVERY OPERABLE WINDOW IN BEDROOMS WILL BE CASEMENT WIDER WINDOWS WILL BE SLIDERS

GENERAL NOTES:

A.) CONTRACTOR TO VERIFY ALL GLAZING SIZING, AND DOOR DIMENSIONS IN FIELD PRIOR TO ROUGH FRAMING & ORDERING OF GLAZING/WINDOW/DOOR MATERIALS. REVIEW SIZES AND ANY DISCREPANCIES W/ OWNER.

B.) ALL GLAZING TO BE "LOW E", INSULATED GLASS UNLESS NOTED OTHERWISE.

C.) ALL OPERABLE WINDOWS TO HAVE SCREENS.

D.) GLAZING INDOORS AND/OR WITHIN 24" OF A DOOR TO BE TEMPERED OR PROVIDE SAFETY GLASS. SEE EXTERIOR DOOR AND WINDOW TYPES FOR SAFETY GLASS LOCATION. SEE SCHEDULES FOR LOCATIONS OF EGRESS WINDOWS/DOORS.

E.) ALL FACTORY FINISH DOORS & FRAMES TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S STANDARD COLORS.

F.) ALL INTERIOR & EXTERIOR DOORS ARE 1 3/4" THICK, UNLESS NOTED OTHERWISE

G.) EMERGENCY & ESCAPE OPENINGS (FROM IRC R310), WHERE EMERGENCY & ESCAPE OPENINGS ARE PROVIDED, THEY SHALL:

- HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
- HAVE A MIN. NET CLEAR OPENING OF 5.7 SQUARE FEET.
- HAVE A MIN. NET CLEAR OPENING HEIGHT OF 24 INCHES.
- HAVE A MIN. NET CLEAR OPENING WIDTH OF 20 INCHES.
- BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS, OR SPECIAL KNOWLEDGE.

H.) WHOLE HOUSE VENTILATION TO INCLUDE OUTDOOR AIR INLETS (FROM IRC M1508.4.5): OUTDOOR AIR SHALL BE DISTRIBUTED TO EACH HABITABLE ROOM BY INDIVIDUAL OUTDOOR AIR INLETS. PROVIDE NOT LESS THAN 4 SQUARE INCHES (0.003 m2) OF NET FREE AREA OF OPENING FOR EACH HABITABLE SPACE. ANY INLET OR COMBINATION OF INLETS WHICH PROVIDE 10 CFM AT 10 PASCALS AS DETERMINED BY THE HOME VENTILATING INSTITUTE AIR FLOW TEST STANDARD (HVI 901 NOVEMBER 1996) ARE DEEMED EQUIVALENT TO 4 SQUARE INCHES NET FREE AREA.

I.) ALL PRODUCTS SHALL BE NFRC CERTIFIED AND NFRC (CPD) NUMBERS PER R303.1.3 SHALL BE PROVIDED - FROM ENERGY CORRECTION COMMENT.

J.) ALL GLAZING WITHIN 18" OF FLOOR LEVEL TO BE TEMPERED

GLAZING SCHEDULE NOTES:

1. SEE EXTERIOR DOOR & WINDOW ELEVATIONS FOR OPERATION, LAYOUT, & DIMENSION.
2. EMERGENCY EGRESS OPENING NOTED IN PLAN- EERO
3. SUITABLE TO INCLUDE OUTDOOR AIR INLET PER ITEM (H) IN DOOR & WINDOW NOTES.

Wishwas Koushik Remodel

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 BUILDER ADDRESS:

REVISION LOG

REV #	DATE	DESCRIPTION

STATUS: PERMIT

DPS PERMIT NUMBER:

BNA Project number: XXXXXX

DRAWN BY: Author

SHEET NAME: WINDOW TYPES & SCHEDULE

SHEET NO. A601

Scale: 3" = 1'-0"

ROOF

SPRAY FOAM INFORMATION:

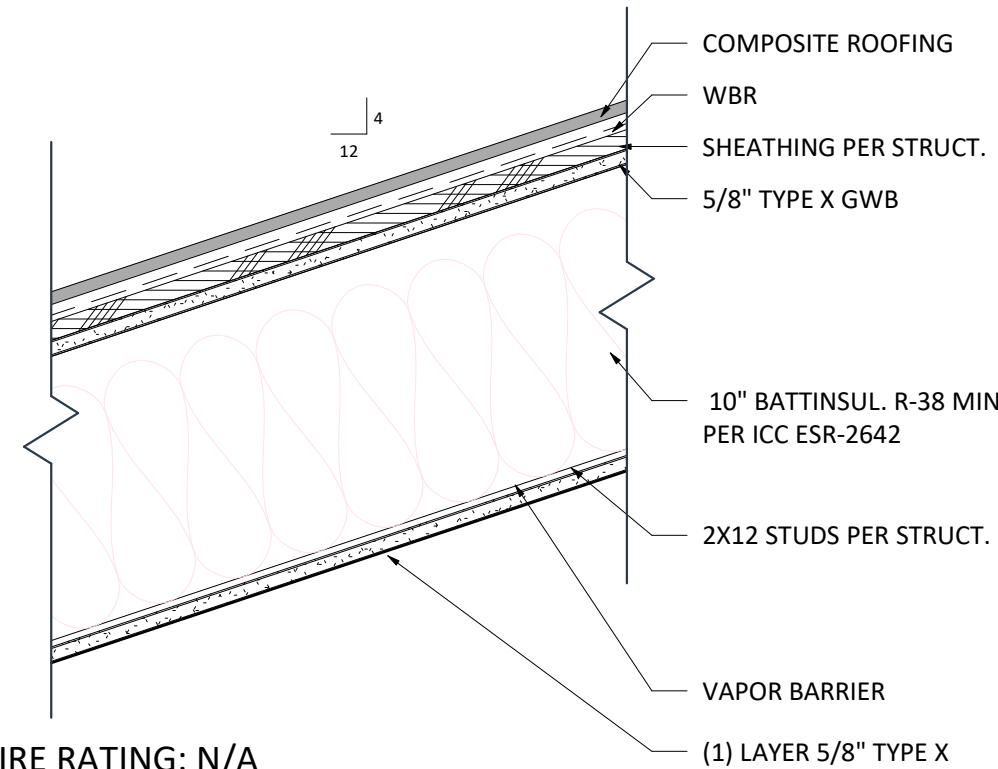
PRODUCT NAME: SPRAYTITE, 158, 178, 81205 AND 81206

MANUFACTURER: BASF CORPORATION

ICC-ES REPORT ISSUE: ESR-2642

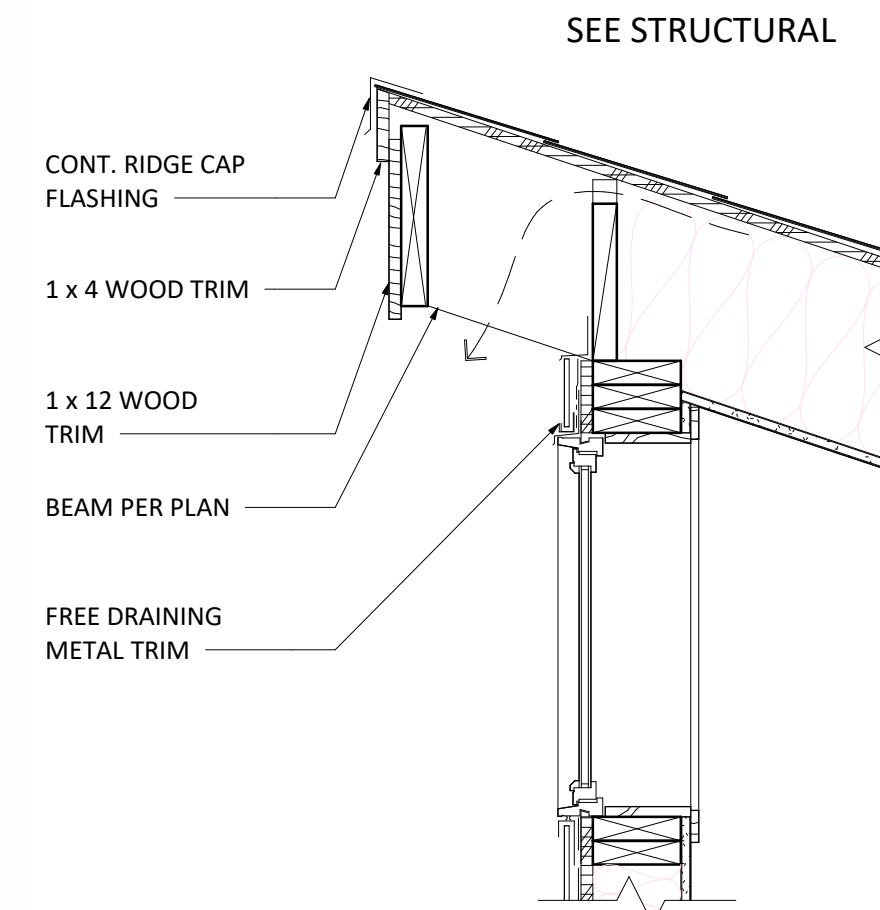
ADDITIONAL NOTES:

- CONFIRM THAT THE APPLICATION OF SPRAY FOAM IS CONSISTANT WITH THE "CONDITIONS OF USE" AND COMPLIES WITH IRC R806.5.5.1.2. WHERE AIR-PERMEABLE INSULATION IS PROVIDED INSIDE THE BUILDING THERMAL ENVELOPE, IT SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 5.1. IN ADDITION TO THE AIR-PERMEABLE INSULATION INSTALLED DIRECTLY BELOW THE STRUCTURAL SHEATHING, RIGID BOARD OR SHEET INSULATION SHALL BE INSTALLED DIRECTLY ABOVE THE STRUCTURAL ROOF SHEATHING IN ACCORDANCE WITH THE R-VALUES IN TABLE R806.5 FOR CONDENSATION CONTROL.
- A COPY OF THE ICC-ES REPORT FOR THE INSULATION PRODUCT MUST BE PROVIDED ON SITE FOR THE FIELD INSPECTOR.
- THE APPLIED SPRAY FOAM MUST BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS BY A CERTIFIED INSTALLER.



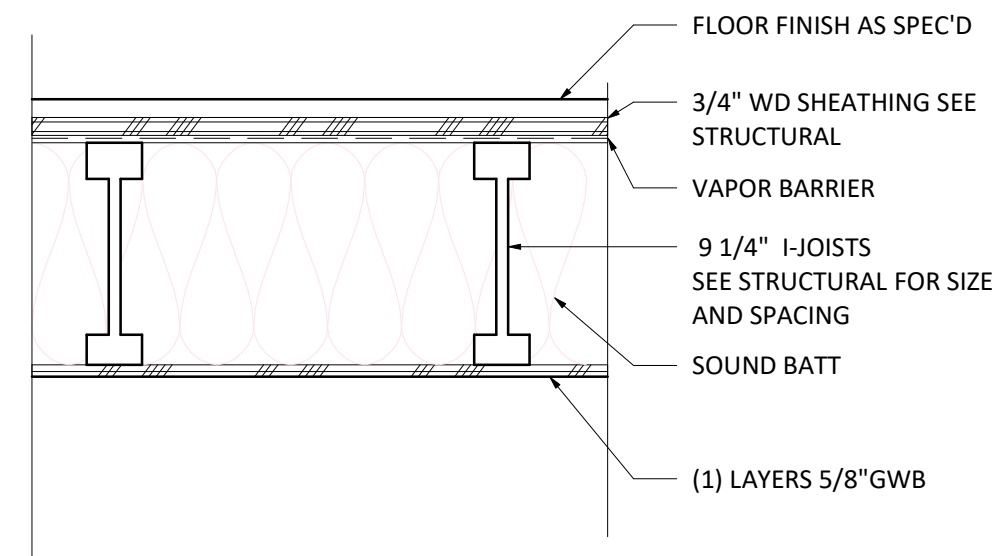
FIRE RATING: N/A
TESTED ASSEMBLY: N/A
INSUL.: R-51.7, COMPLIANT PER IBC 1203.3.4.1.1
STC: N/A

2 ROOF/CLG @ SLOPED ROOF1
1 1/2" = 1'-0"



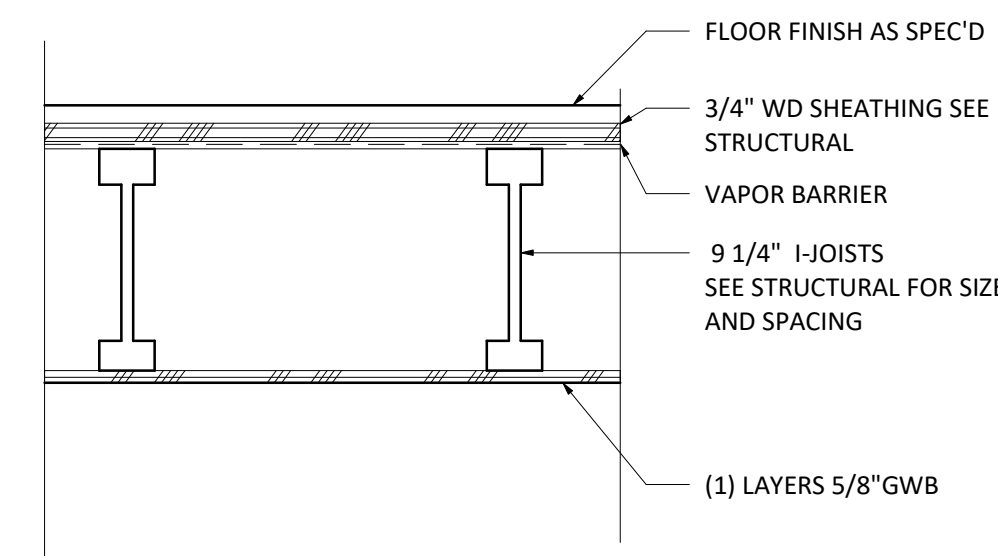
4 TYP. SHED EAVE
1" = 1'-0"

FLOOR



FIRE TEST: NA
TEST ASSEMBLY: 1 HR, IBC TABLE 721.1(3) #21-1.1
INSUL.: R-38
STC: N/A

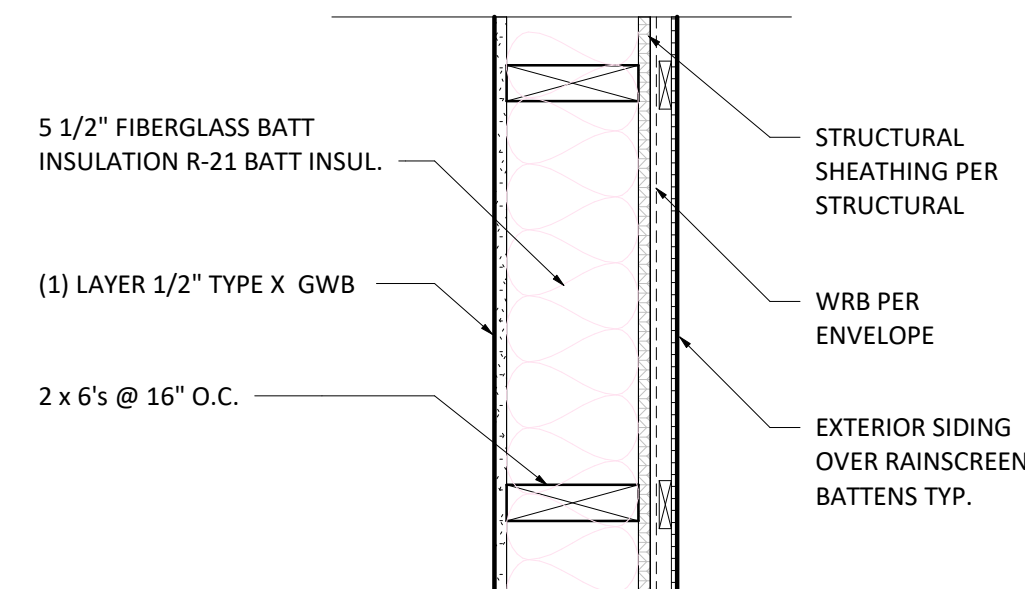
3 TYP FLOOR/CEILING (INSUL)
1 1/2" = 1'-0"



FIRE TEST: NA
TEST ASSEMBLY: 1 HR, IBC TABLE 721.1(3) #21-1.1
INSUL.: N/A
STC: N/A

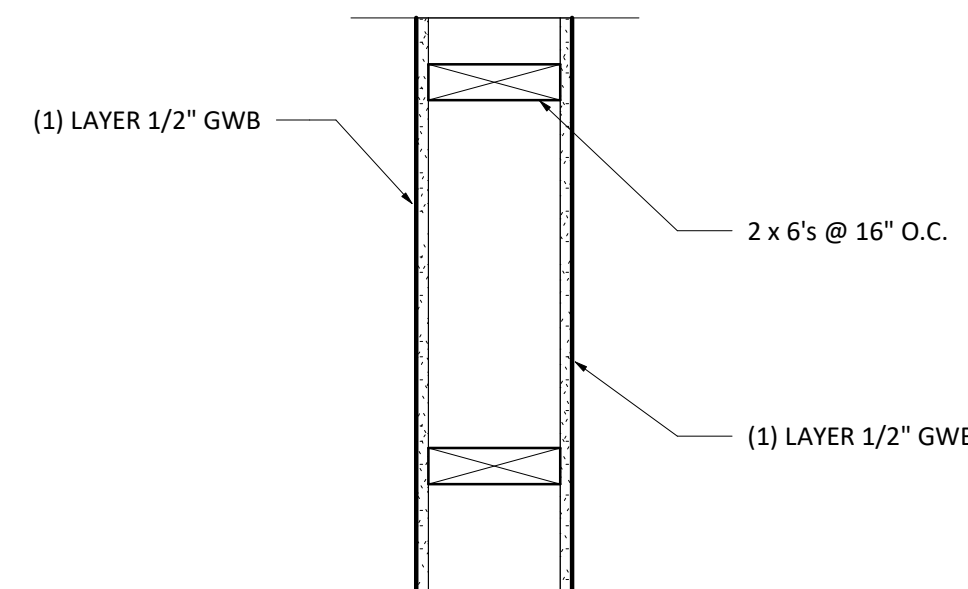
5 TYP FLOOR/CEILING
1 1/2" = 1'-0"

WALL



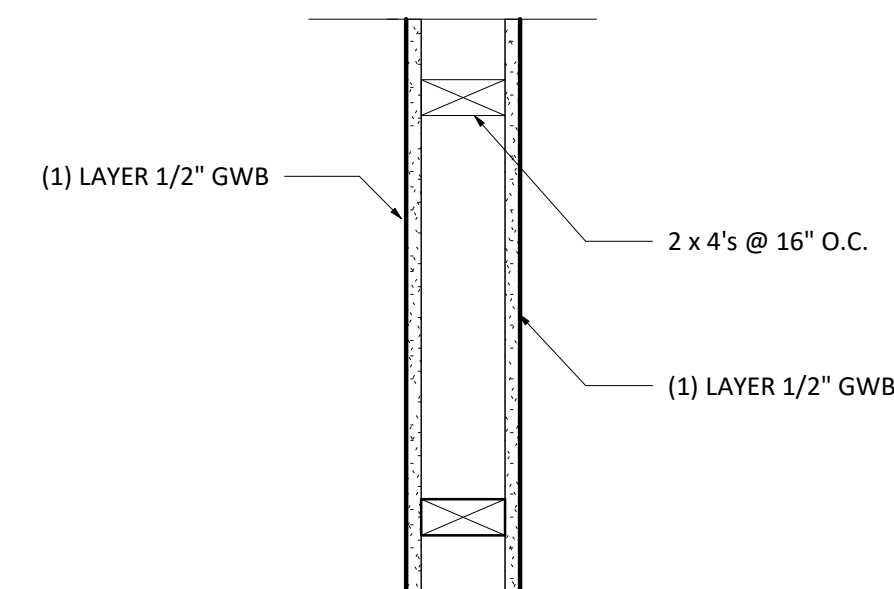
FIRE RATING: N/A
TESTED ASSEMBLY: CALC. PER SEC. 721.6
INSUL.: R-21, BATT INSUL.
STC: N/A

6 TYP. EXT. WALL @ 2X6
1 1/2" = 1'-0"



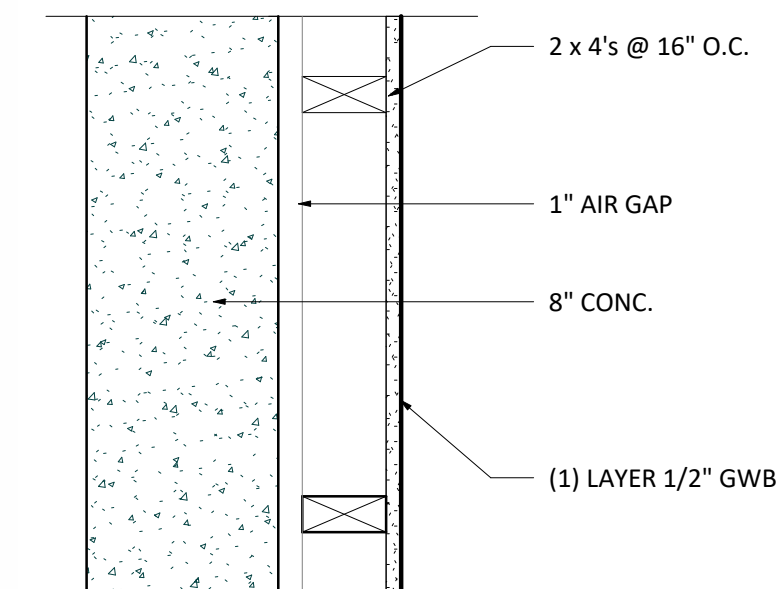
FIRE RATING: NA
TEST: NA
INSUL.: NA
STC: NA

7 TYP INTERIOR WALL @ 2X6
1 1/2" = 1'-0"



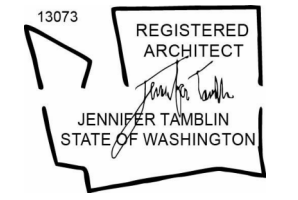
FIRE RATING: NA
TEST: NA
INSUL.: NA
STC: NA

8 TYP INTERIOR WALL @ 2X4
1 1/2" = 1'-0"



FIRE RATING: NA
TEST: NA
INSUL.: BATT INSUL., R-15 MIN.
STC: NA

9 TYP FURRING WALL @ 2X4
1 1/2" = 1'-0"



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Wishwas Koushik Remodel

BUILDER NAME: Wishwas Mohan and Madhuri Koushik
BUILDER CONTACT: 8203 AVALON DR 98040
BUILDER ADDRESS: 8203 AVALON DR 98040

REVISION LOG

REV #	DATE	DESCRIPTION

STATUS: PERMIT

DPS PERMIT NUMBER:

BNA Project number: XXXXXX

DRAWN BY: Author

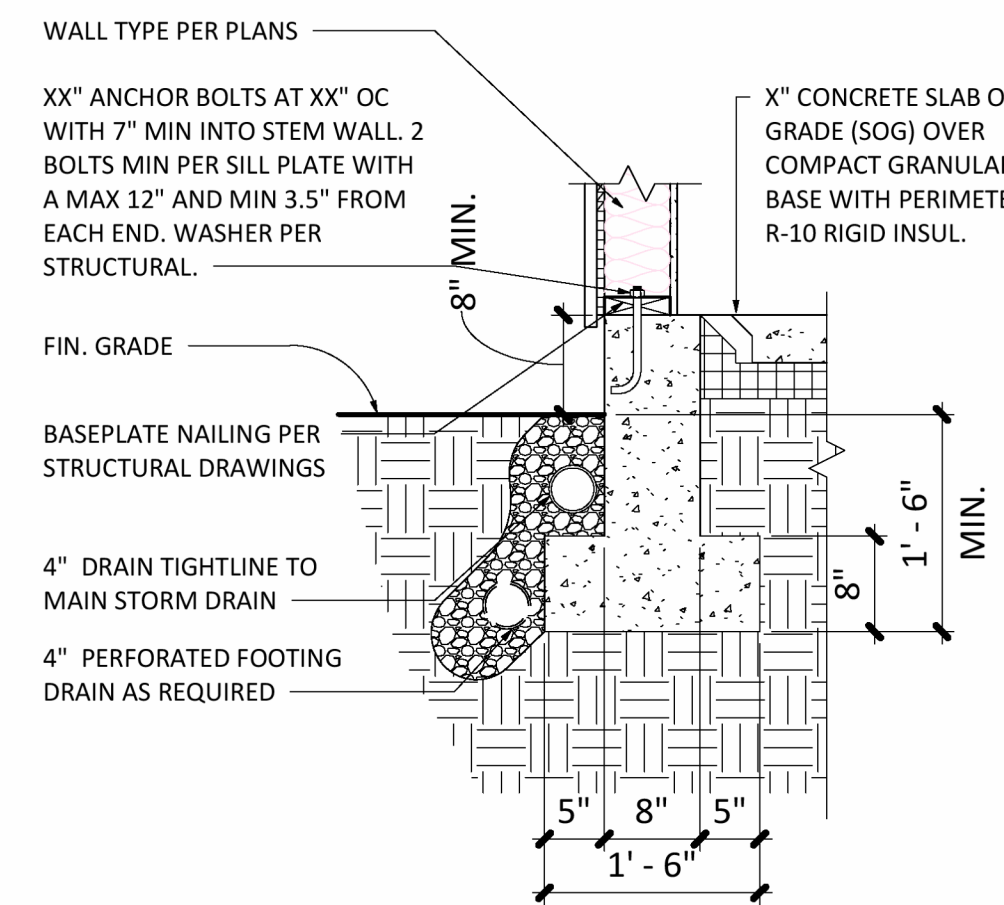
SHEET NAME

WALL, FLOOR, ROOF & FOUNDATION DETAILS

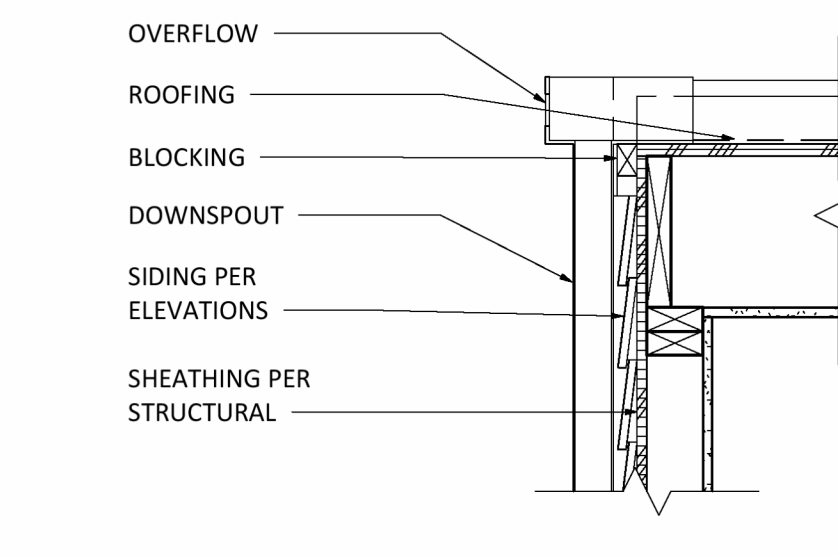
SHEET NO.

A500

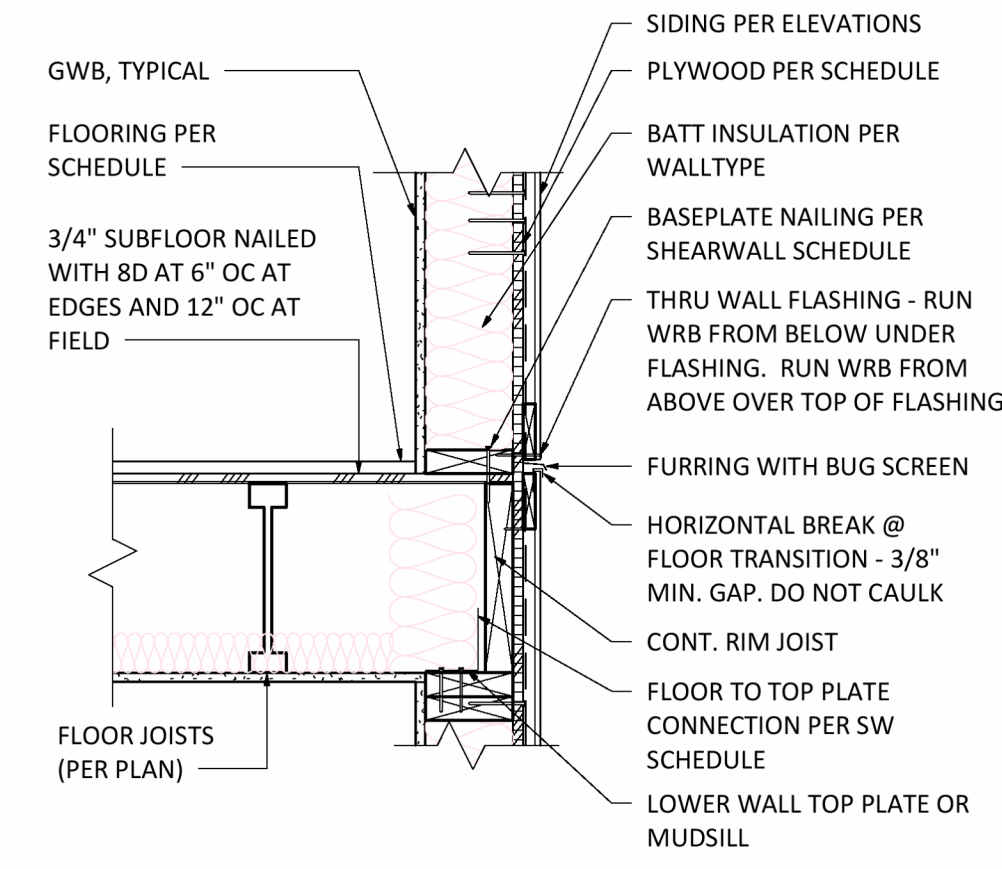
Scale: As indicated



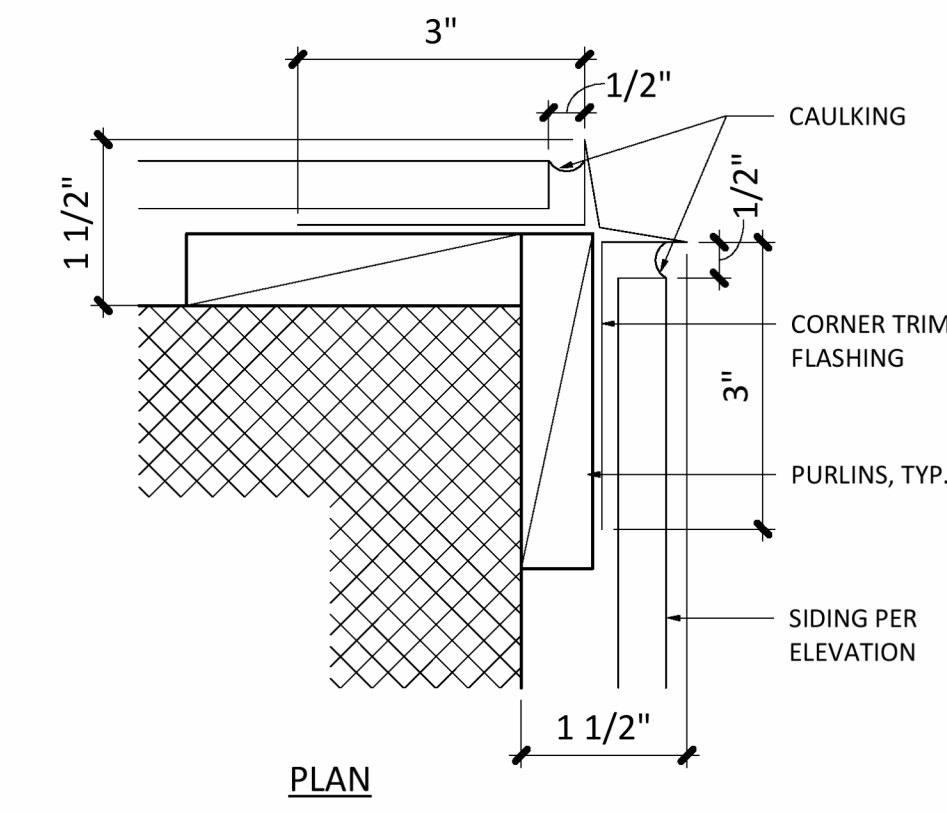
2 FOUNDTN @ SLAB ON GD
 3/4" = 1'-0"



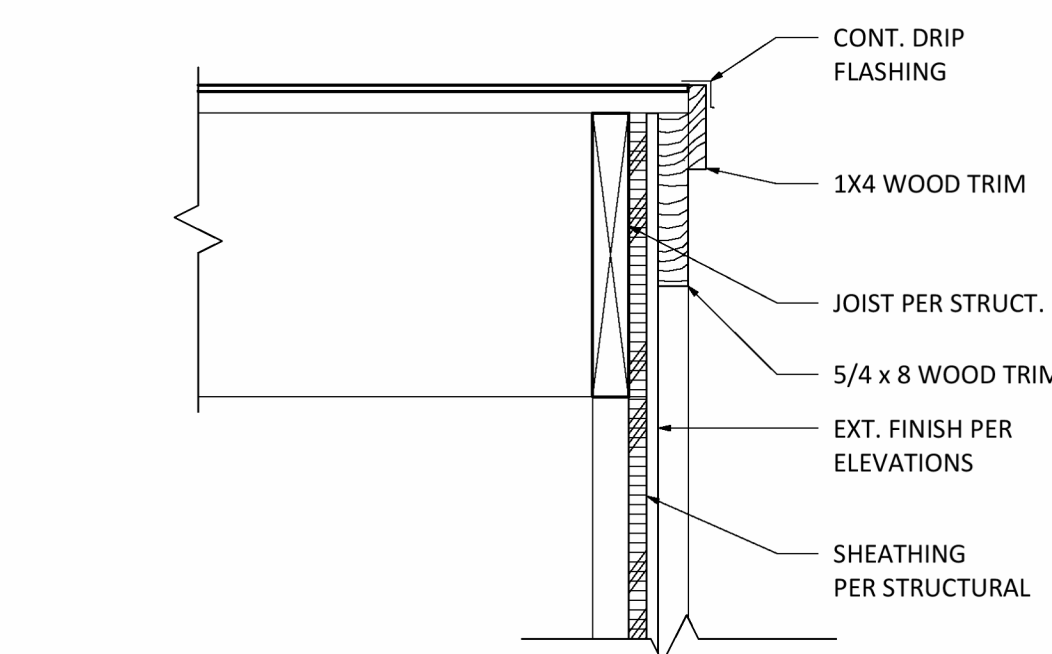
3 TYP. SCUPPER
 1" = 1'-0"



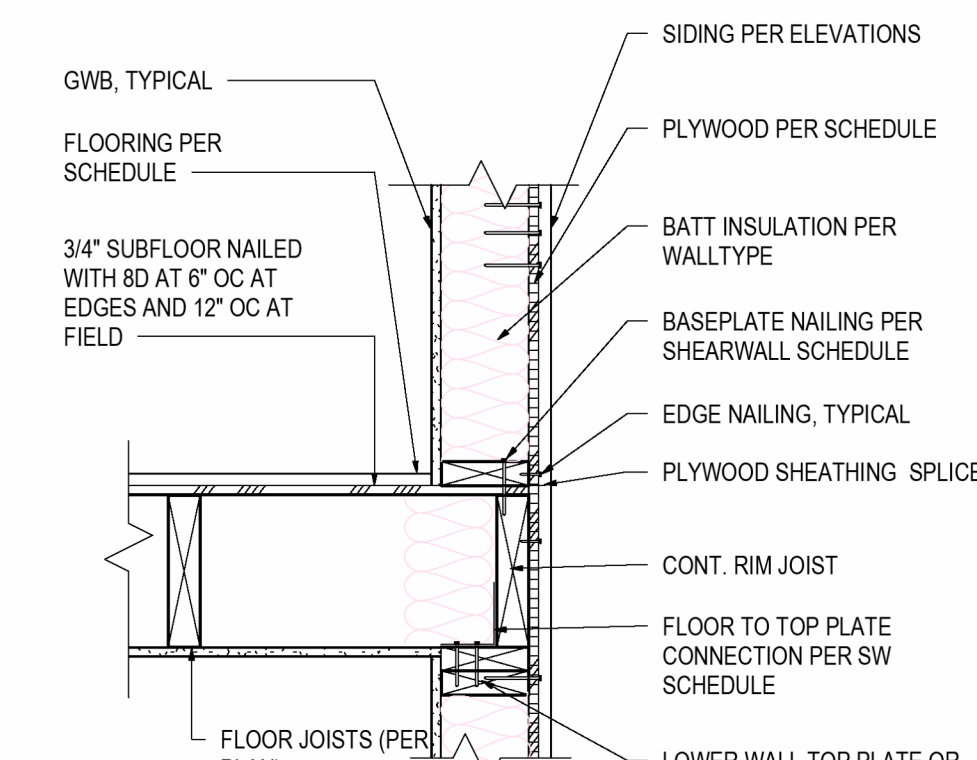
4 TYP. FLOOR LEVEL
 1" = 1'-0"



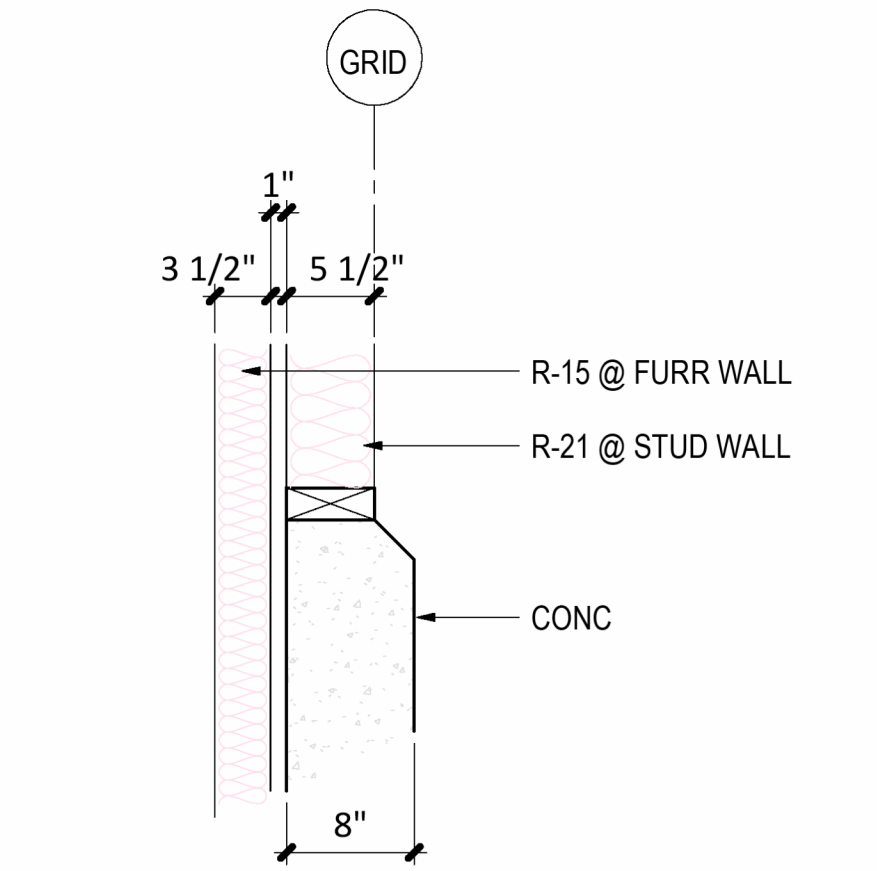
5 FLASHING @ EXT CORNER
 6" = 1'-0"



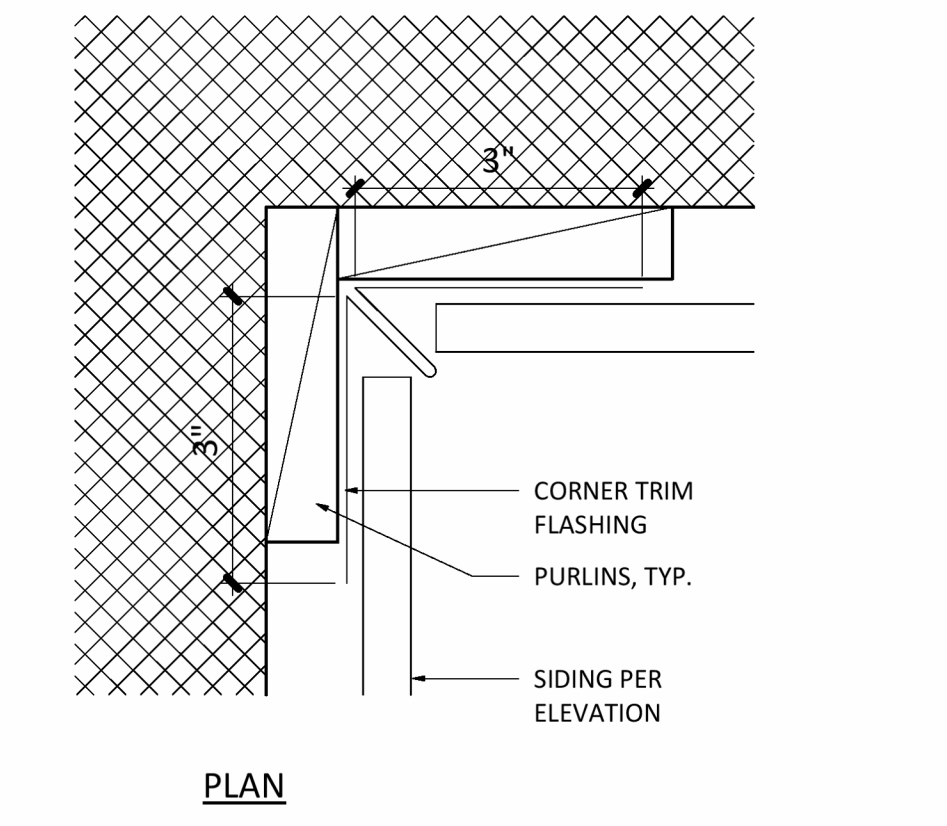
7 TYP. FLAT RAKE
 1 1/2" = 1'-0"



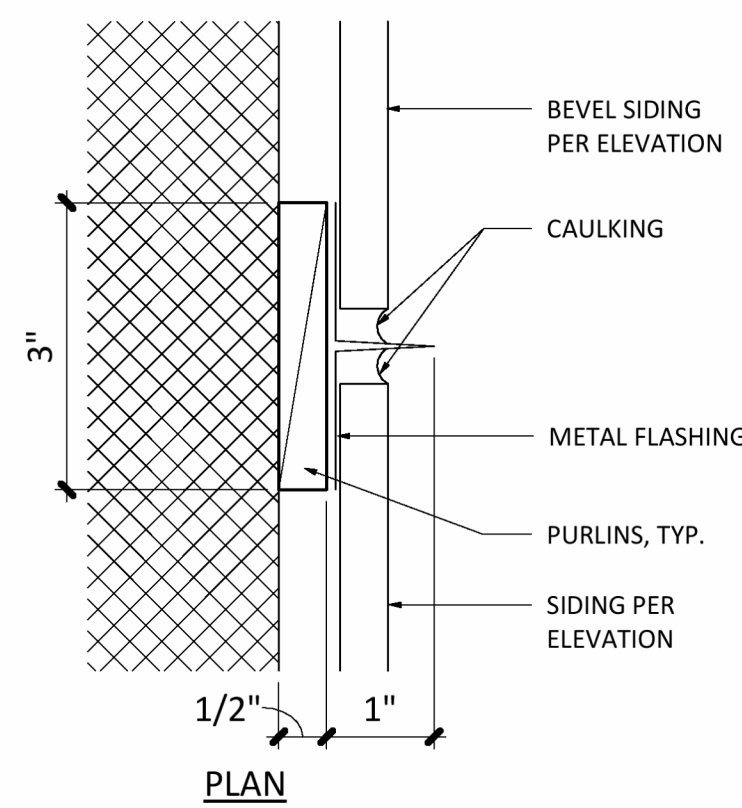
8 TYP. PERP. JOIST TO WALL
 1" = 1'-0"



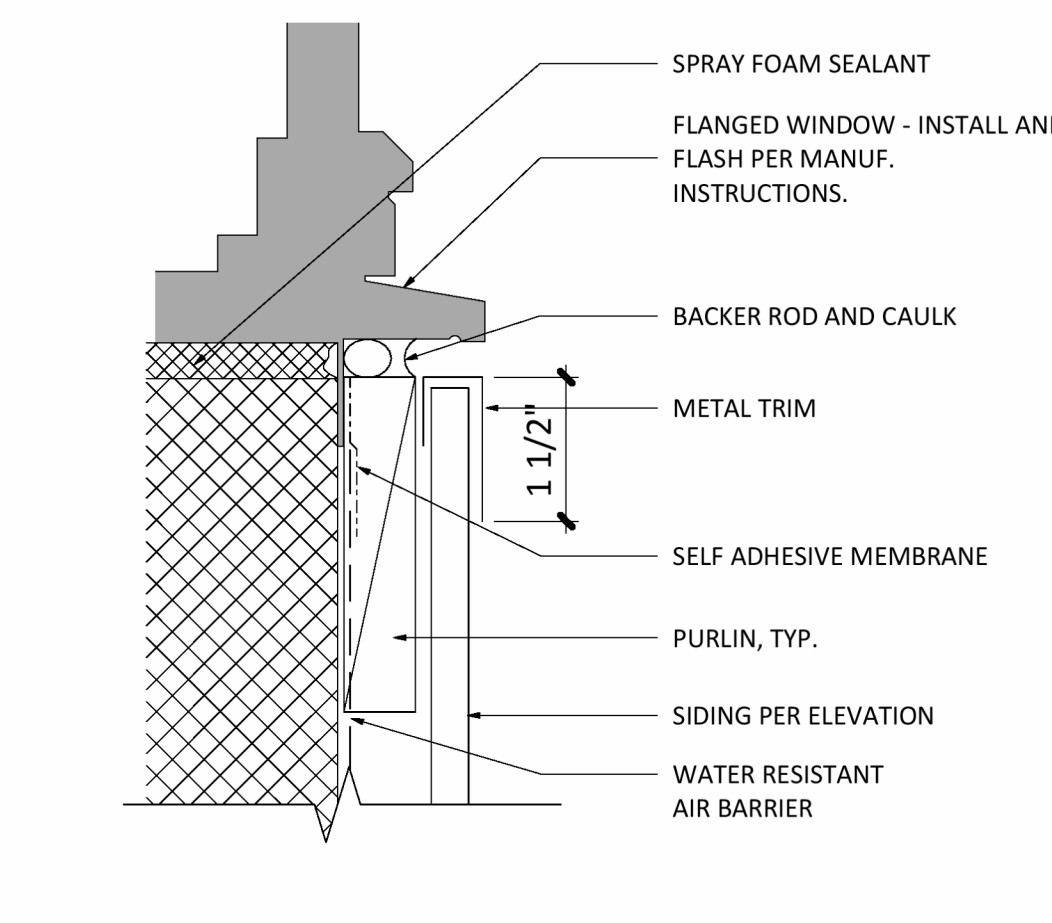
9 FOUNDATION WALL DTL.
 1" = 1'-0"



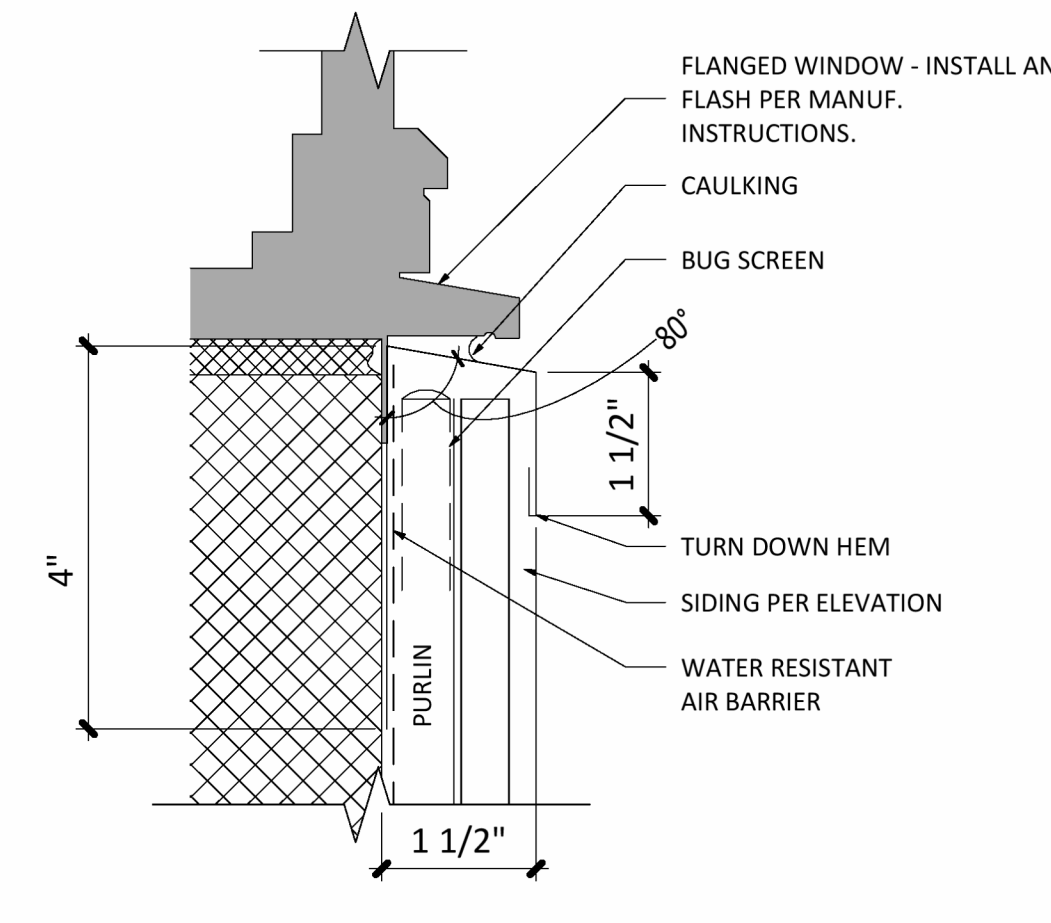
10 FLASHING @ INT CORNER
 6" = 1'-0"



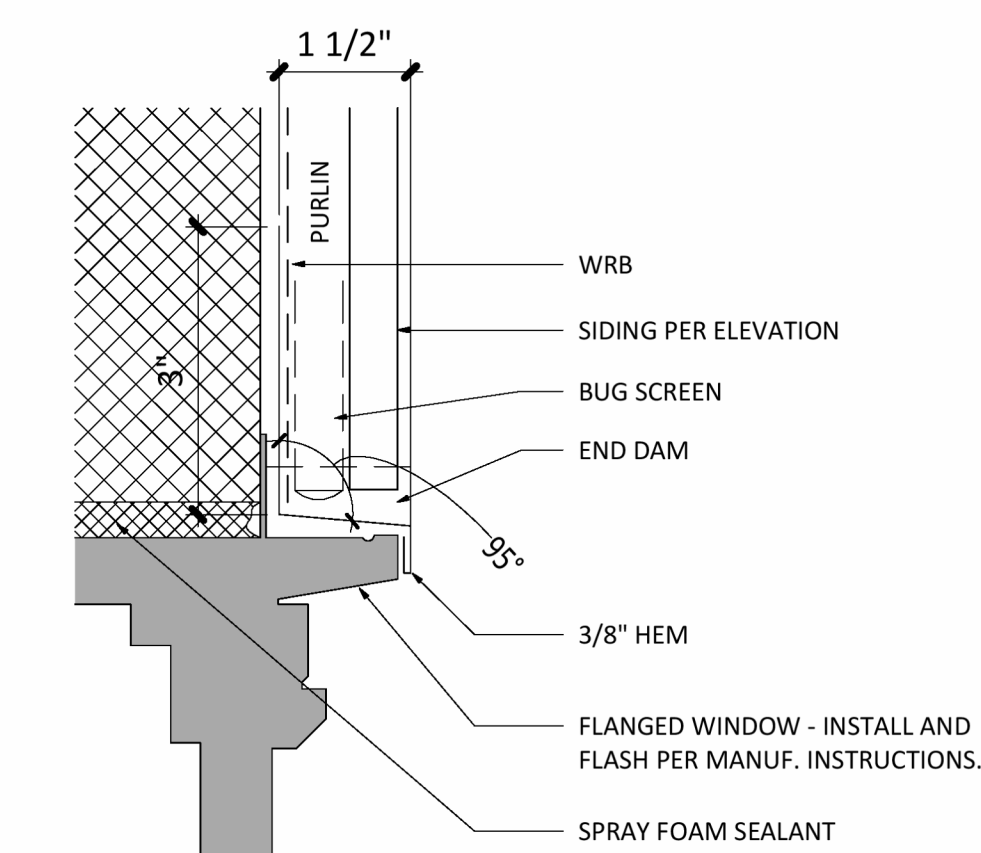
11 FLASHING @ SDG TRANSITION
 6" = 1'-0"



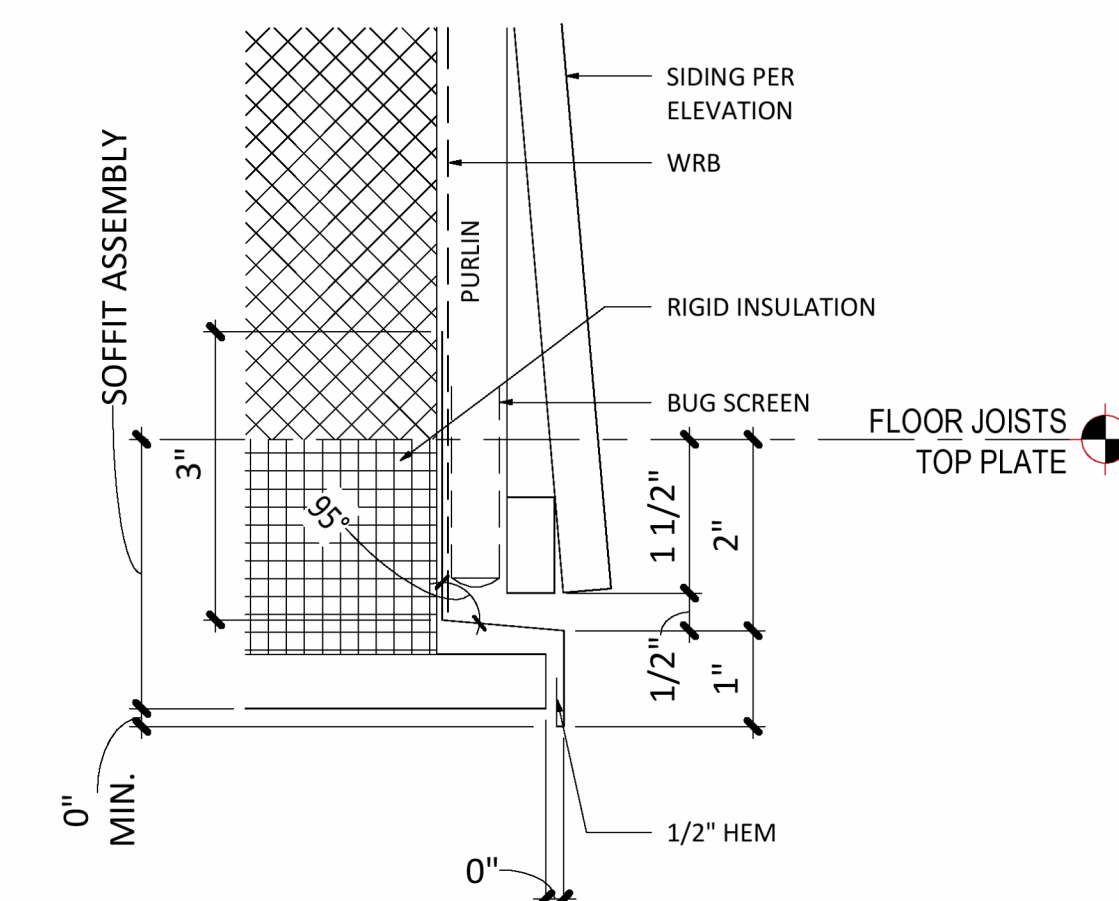
12 FLASHING @ WINDOW JAMB
 6" = 1'-0"



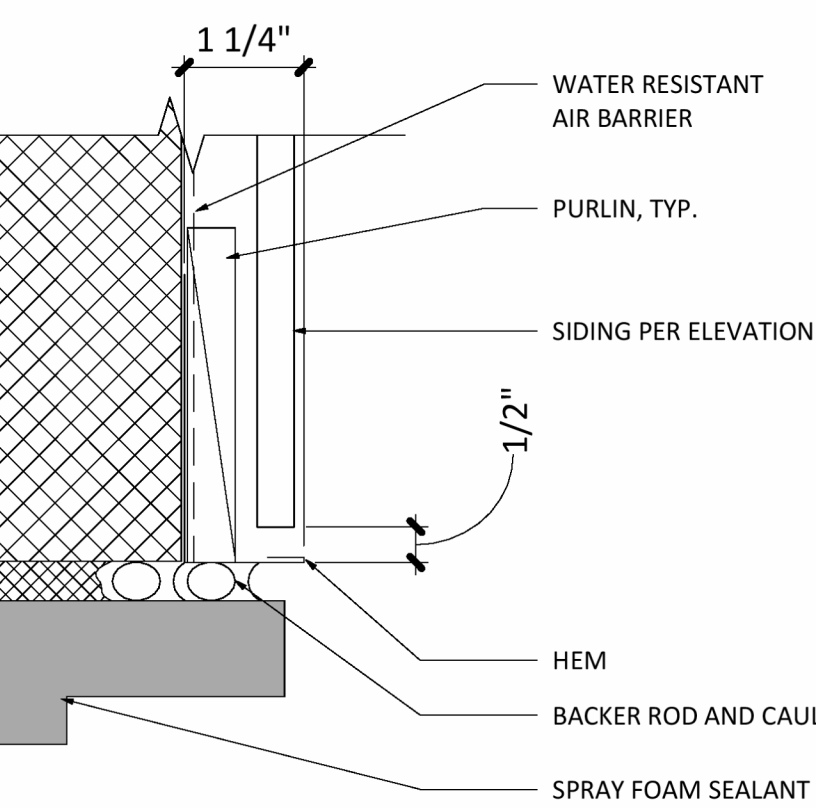
13 FLASHING @ WINDOW SILL
 6" = 1'-0"



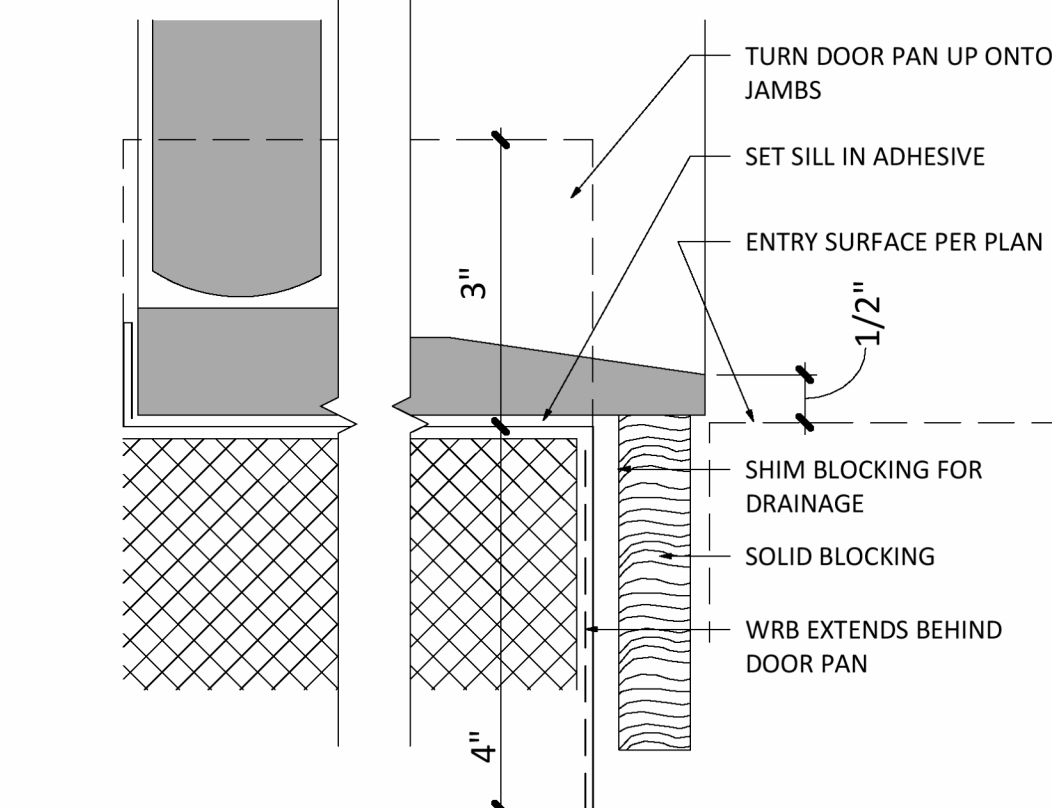
14 FLASHING @ WINDOW HEAD
 6" = 1'-0"



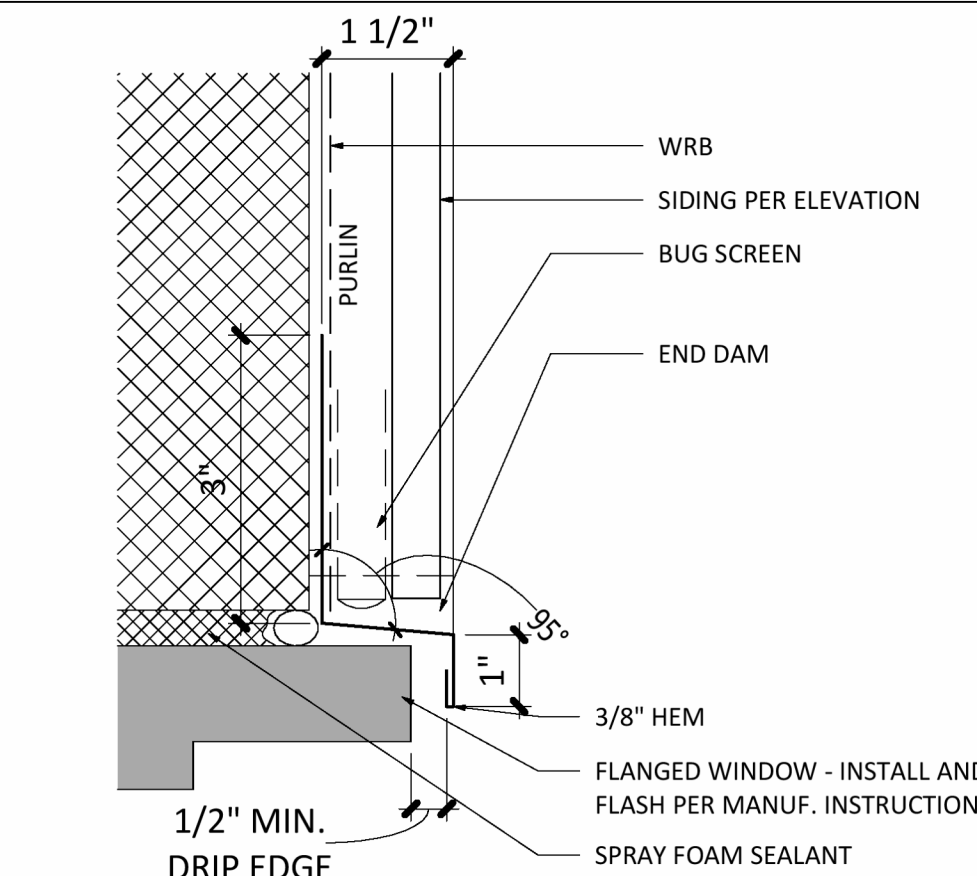
15 FLASHING @ SOFFIT
 6" = 1'-0"



16 FLASHING @ DOOR JAMB
 6" = 1'-0"



17 FLASHING @ DOOR SILL
 6" = 1'-0"



18 FLASHING @ DOOR HEAD
 6" = 1'-0"

EMERGENCY ESCAPE AND RESCUE:
 ONE WINDOW (OR DOOR) IN THE BASEMENT, A HABITABLE ATTIC, AND IN EACH BEDROOM, MUST MEET THESE REQUIREMENTS (SRC R310):
 THE MINIMUM NET CLEAR OPEN AREA IS 5.7 SQUARE FEET (HOWEVER, OPENINGS AT GRADE FLOOR MAY BE A MINIMUM OF 5 SQUARE FEET)
 THE MINIMUM CLEAR OPEN WIDTH IS 20"
 THE MINIMUM CLEAR OPEN HEIGHT IS 24"
 THE MAXIMUM ALLOWED SILL HEIGHT IS 44"
 THE INSIDE OF THE WINDOW WELLS MUST BE A MINIMUM OF 9 SQUARE FEET IN AREA, WITH A MINIMUM 3" WIDTH, AND MUST ALLOW THE WINDOW TO OPEN ALL THE WAY. A LADDER IS REQUIRED IF THE BOTTOM OF THE WINDOW WELL IS MORE THAN 44" BELOW THE ADJACENT GROUND.



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REVISION LOG

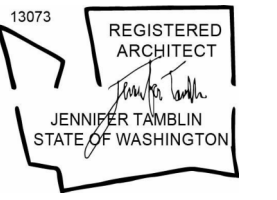
REV #	DATE	DESCRIPTION

STATUS: PERMIT
 DPS PERMIT NUMBER:
 BNA Project number: XXXXXX
 DRAWN BY: Author

EXTERIOR ENVELOPE DETAILS

SHEET NO. A501

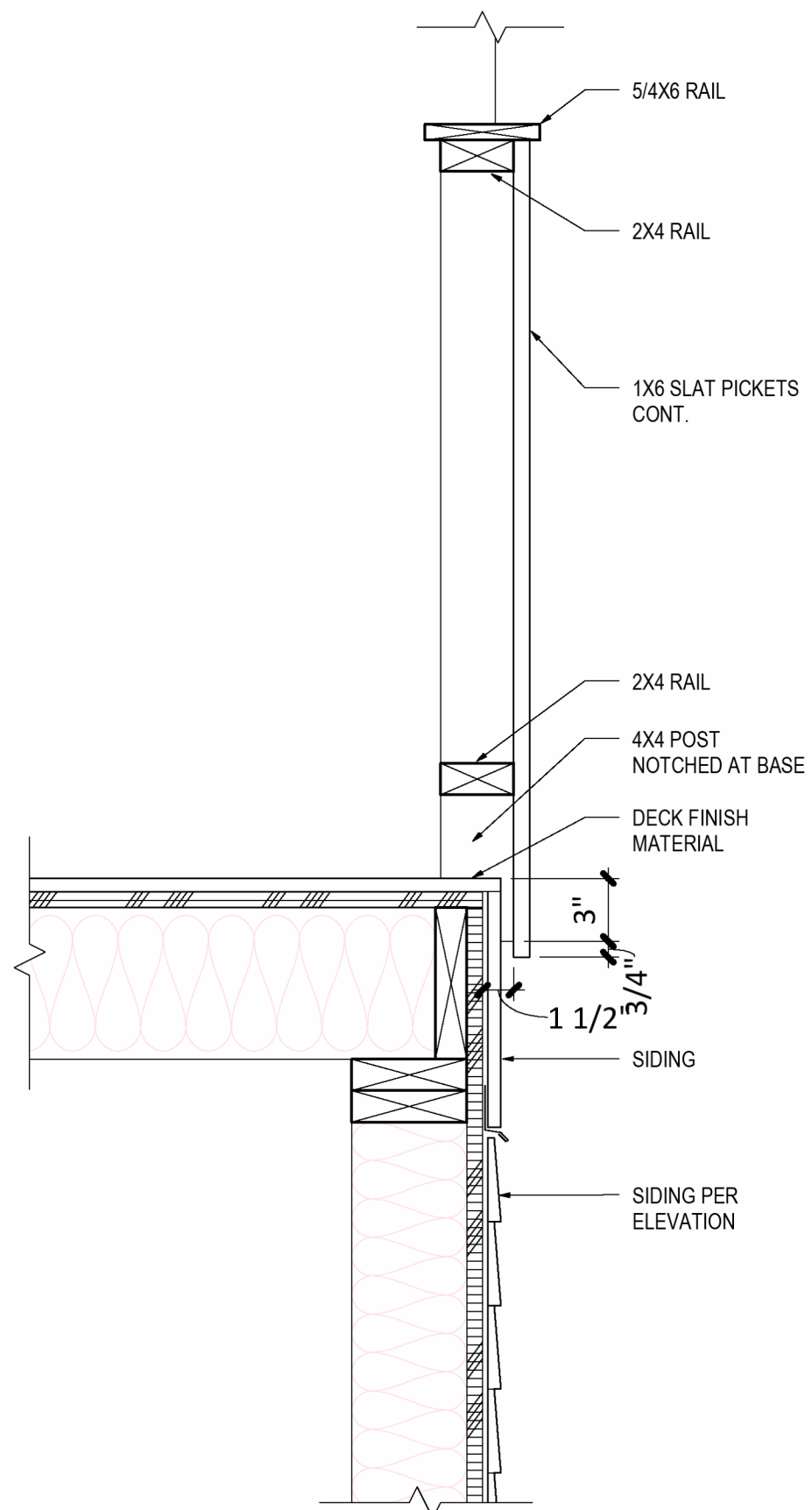
Scale 1/2" = 1'-0"



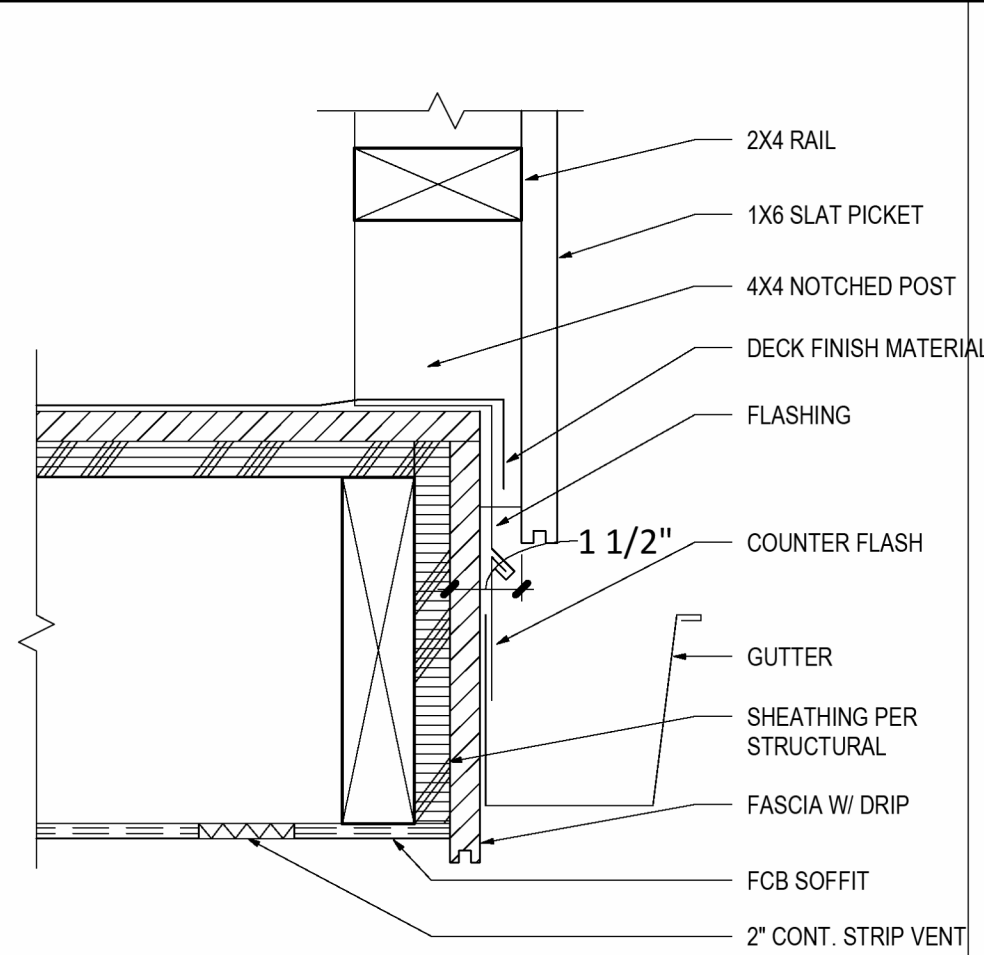
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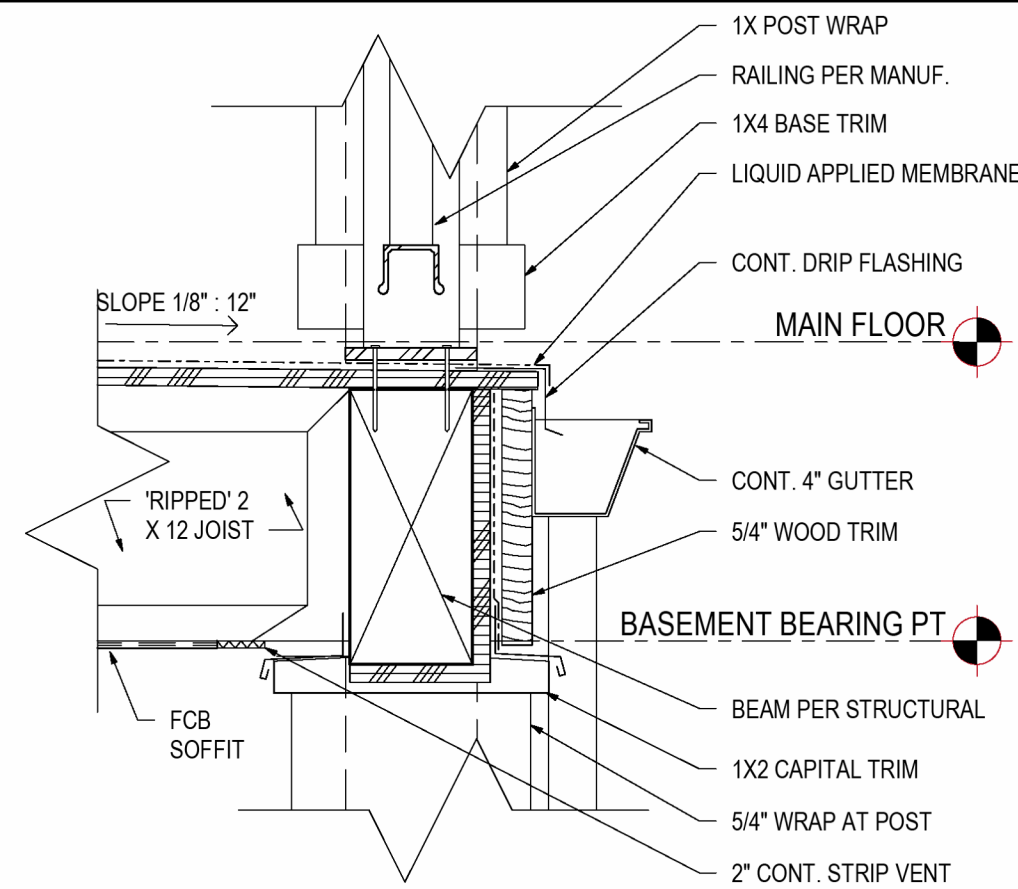
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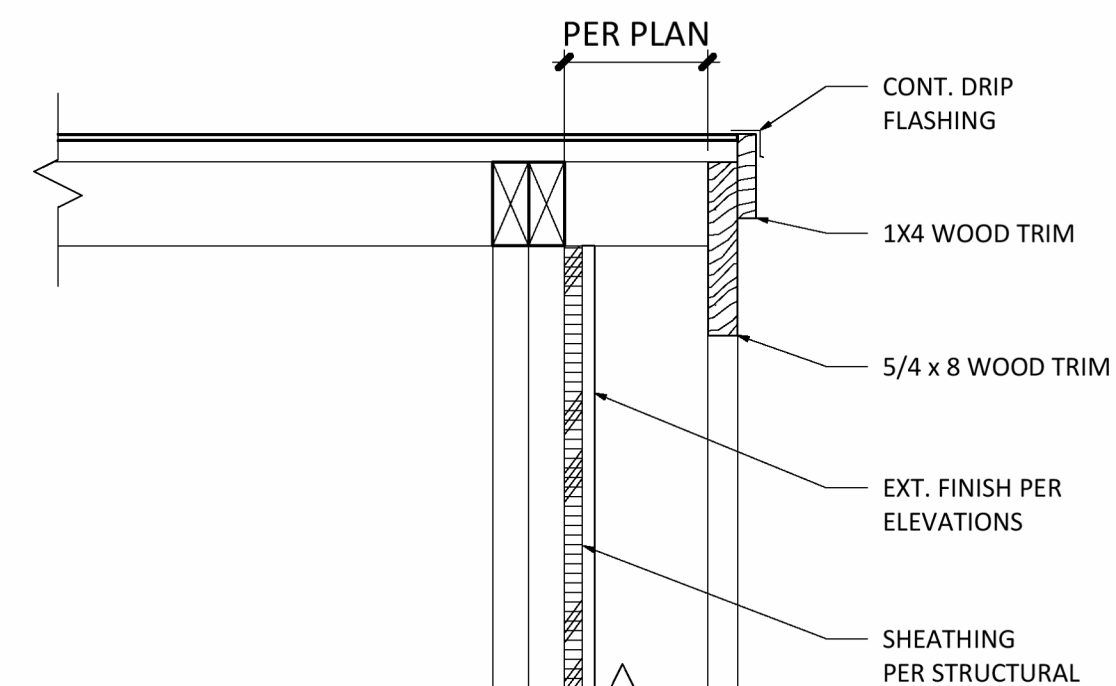
1 TYP. EXT. STAIR RAILING
1 1/2" = 1'-0"



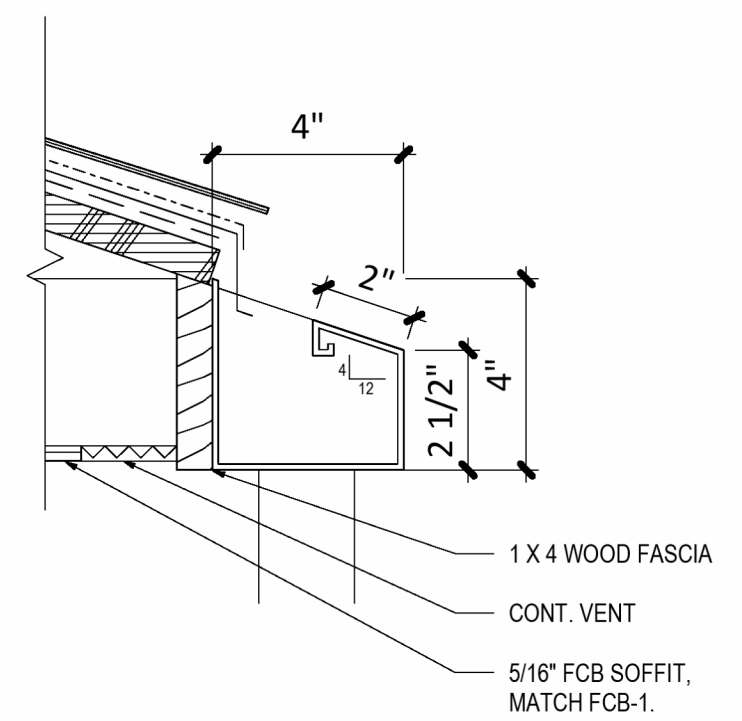
5 TYP. PICKET BASE
3" = 1'-0"



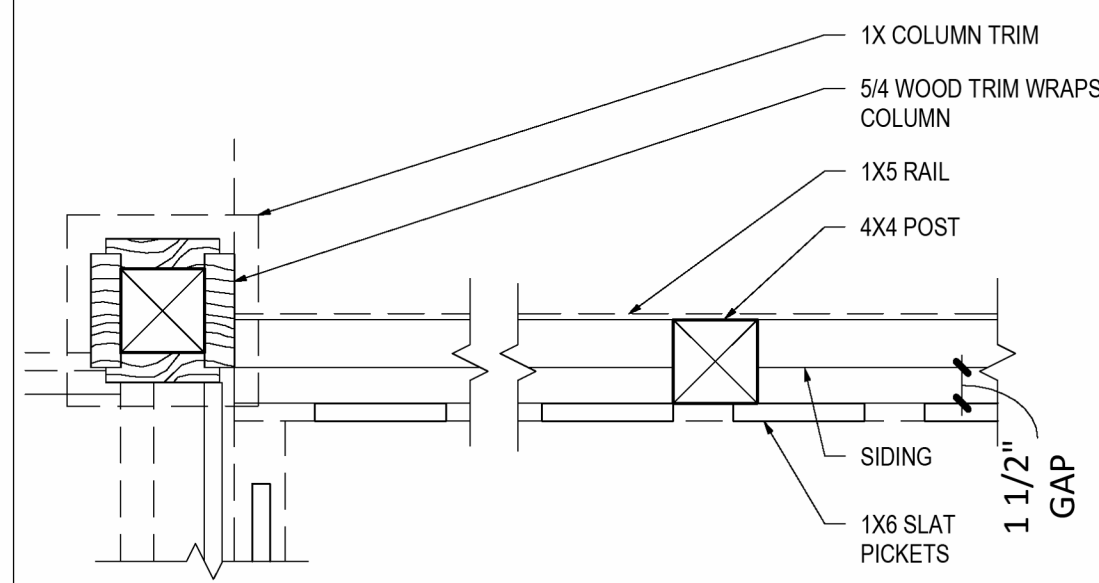
6 TYP. DECK RIM
1 1/2" = 1'-0"



13 TYP. RAKE
1 1/2" = 1'-0"



14 TYP. GUTTER
3" = 1'-0"



7 TYP. RAILING PLAN
1 1/2" = 1'-0"

Wishwas Koushik Remodel

BUILDER NAME
BUILDER CONTACT
BUILDER ADDRESS

CLIENT NAME
Wishwas Mohan and Madhuri Koushik

PROJECT ADDRESS
8203 AVALON DR 98040

REVISION LOG

REV #	DATE	DESCRIPTION

STATUS: **PERMIT**

DPS PERMIT NUMBER:

BNA Project number: **XXXXXX**

DRAWN BY: **Author**

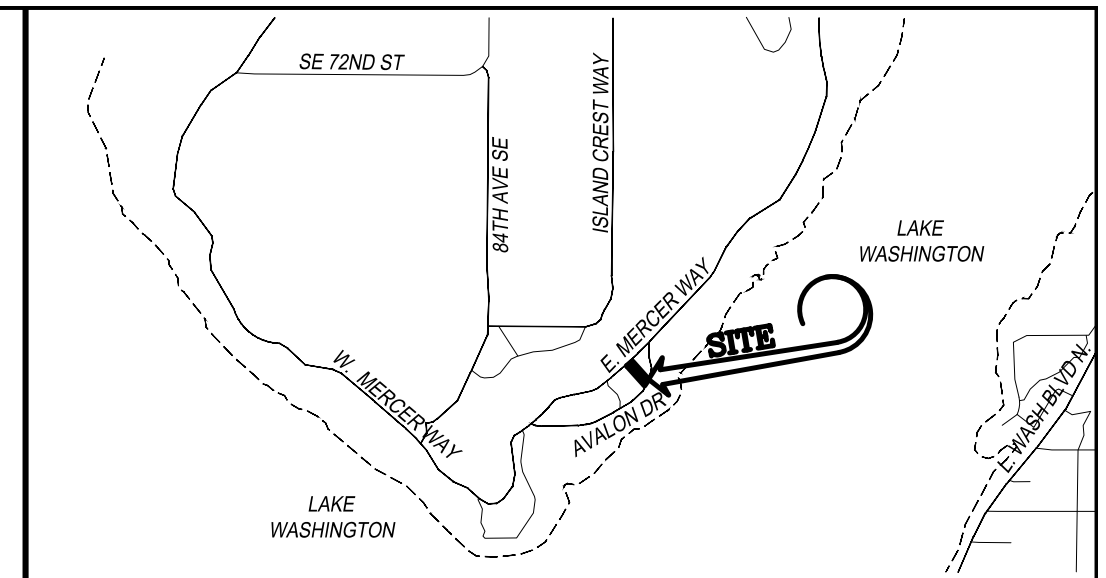
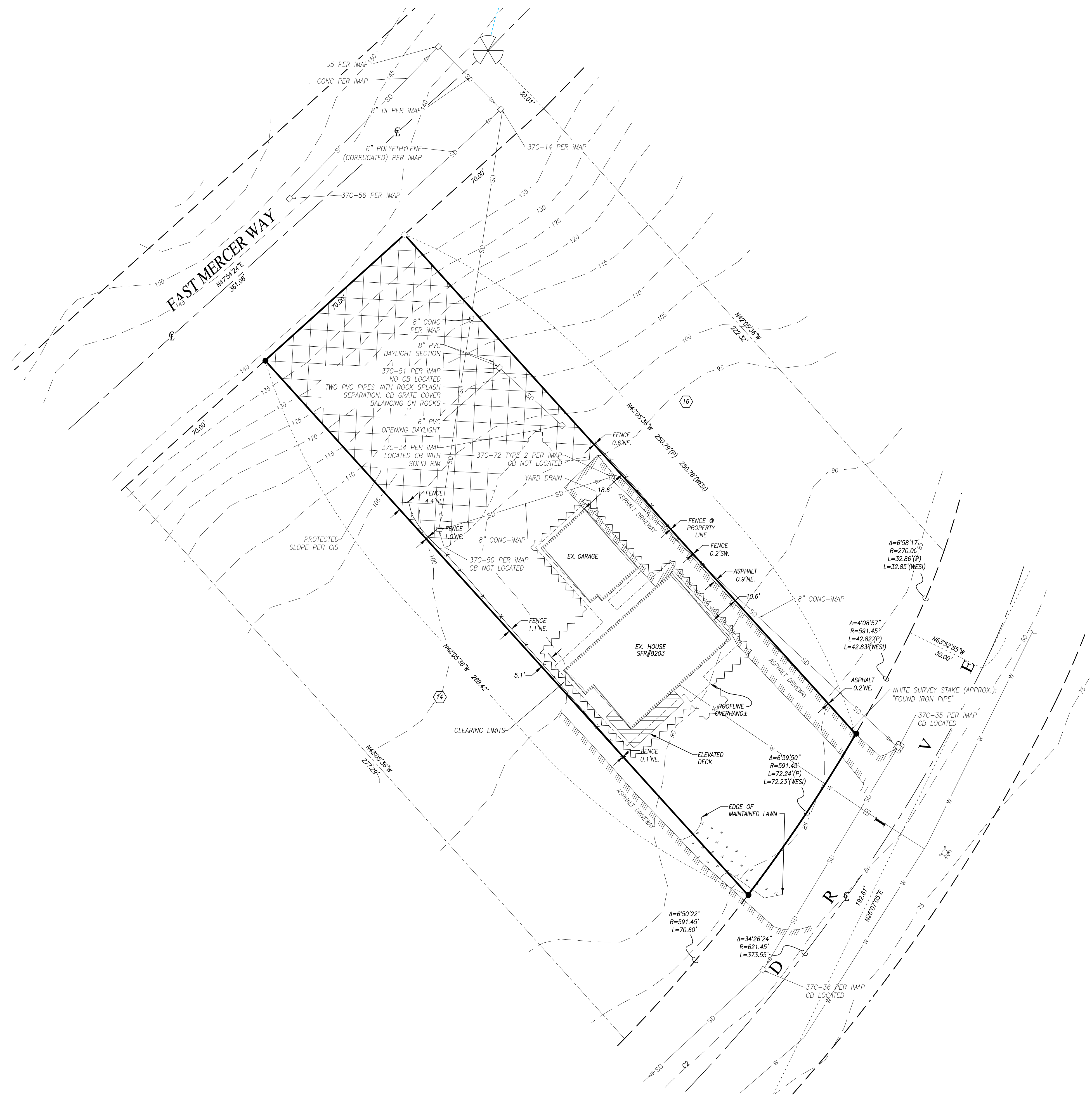
SHEET NAME

DETAILS

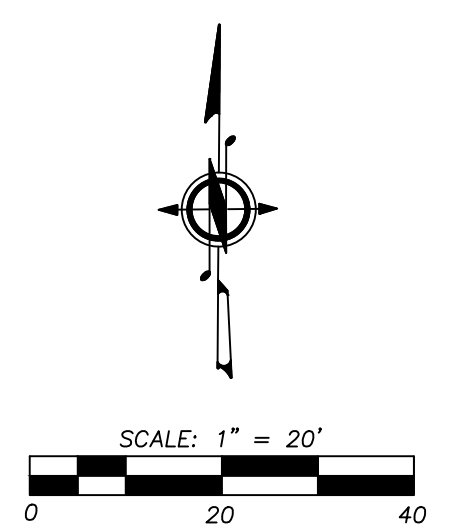
SHEET NO.

A502

Scale: **1/2" = 1'-0"**



VICINITY MAP
SCALE: 1" = 2,000'



LEGEND

- EXISTING STORM DRAIN CATCH BASIN (CB)
- EXISTING BUILDING
- EXISTING PROPERTY BOUNDARY
- EXISTING CENTERLINE
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- EXISTING EDGE OF ASPHALT
- EXISTING FENCE
- EXISTING LOT LINE
- EXISTING RIGHT-OF-WAY
- EXISTING STORM DRAIN LINE
- CATCH BASIN SEDIMENT INSERT

EQUIPMENT AND PROCEDURE:

METHOD OF SURVEY:
SURVEY PERFORMED BY FIELD TRAVERSE

INSTRUMENTATION:
LEICA TCR1105 ELECTRONIC TOTAL STATION

PRECISION:
MEETS OR EXCEEDS STATE STANDARDS WAC 322-130-090

BASIS OF BEARING:
THE CENTERLINE OF EAST MERCER WAY HAS THE BEARING OF N.47°54'24"E.
PER THE PLAT OF AVALON PARK, AS PER THE PLAT RECORDED IN VOLUME 49 OF PLATS ON PAGE 64 AND 65, RECORDS OF KING COUNTY

LEGAL DESCRIPTION

AS PER STATUTORY WARRANTY DEED KING COUNTY INSTRUMENT NO. 20241028000600

LOT 15 IN BLOCK 2 OF AVALON PARK, AS PER PLAT RECORDED IN VOLUME 49 OF PLATS ON PAGES 64 AND 65, RECORDS OF KING COUNTY;

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

SUBJECT TO: COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS AND ENCUMBRANCES, IF ANY, AFFECTING TITLE, WHICH MAY APPEAR IN THE PUBLIC RECORD INCLUDING THOSE SHOWN ON ANY RECORDED PLAT OR SURVEY.

ENGINEER/SURVEYOR
WESI LAND USE CONSULTANTS, LLC
1000 CEDAR AVENUE
MARYSVILLE, WA 98270
PHONE: (425) 356-2700

DEVELOPER/APPLICANT/CONTACT
JENNIFER TAMBLIN
8203 AVALON DRIVE
MERCER ISLAND, WA 98040
PHONE: (425) 478-0327
EMAIL: JEN@DRIFT-IA.COM

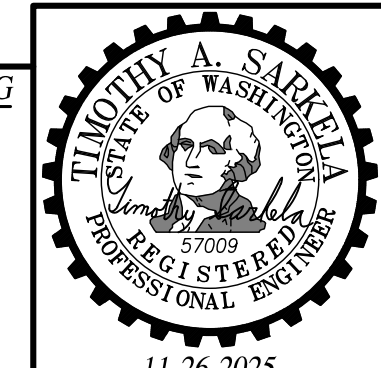
TAX ACCOUNT NO.(S): 0321100090
SITE ADDRESS: 8203 AVALON DRIVE, MERCER ISLAND, WA

PERMIT #2505-004

GRADING QUANTITIES
CUT: 5 CUBIC YARDS
FILL: 5 CUBIC YARDS
*(GRADING QUANTITIES ARE ROUGH CALCULATIONS WHICH DO NOT ACCOUNT FOR SOIL SWELLING & SHRINKAGE)
EXCESS CUT MAY BE SPREAD ON SITE. ALL MATERIAL REMOVED FROM SITE SHALL BE HAULED TO A COUNTY APPROVED SITE.*

VEGETATION BEFORE CLEARING & GRADING
RESIDENTIAL LAWN AND LANDSCAPING
VEGETATION AFTER CLEARING & GRADING
RESIDENTIAL LAWN AND LANDSCAPING
NRCS SOIL CLASSIFICATION
KITSAP SILT LOAM [kpd]

CALL 811 TWO (2) BUSINESS DAYS BEFORE YOU DIG

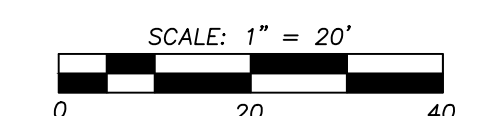
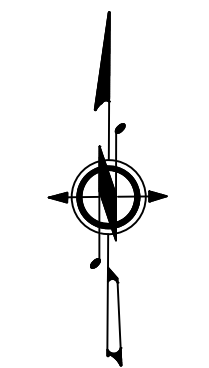
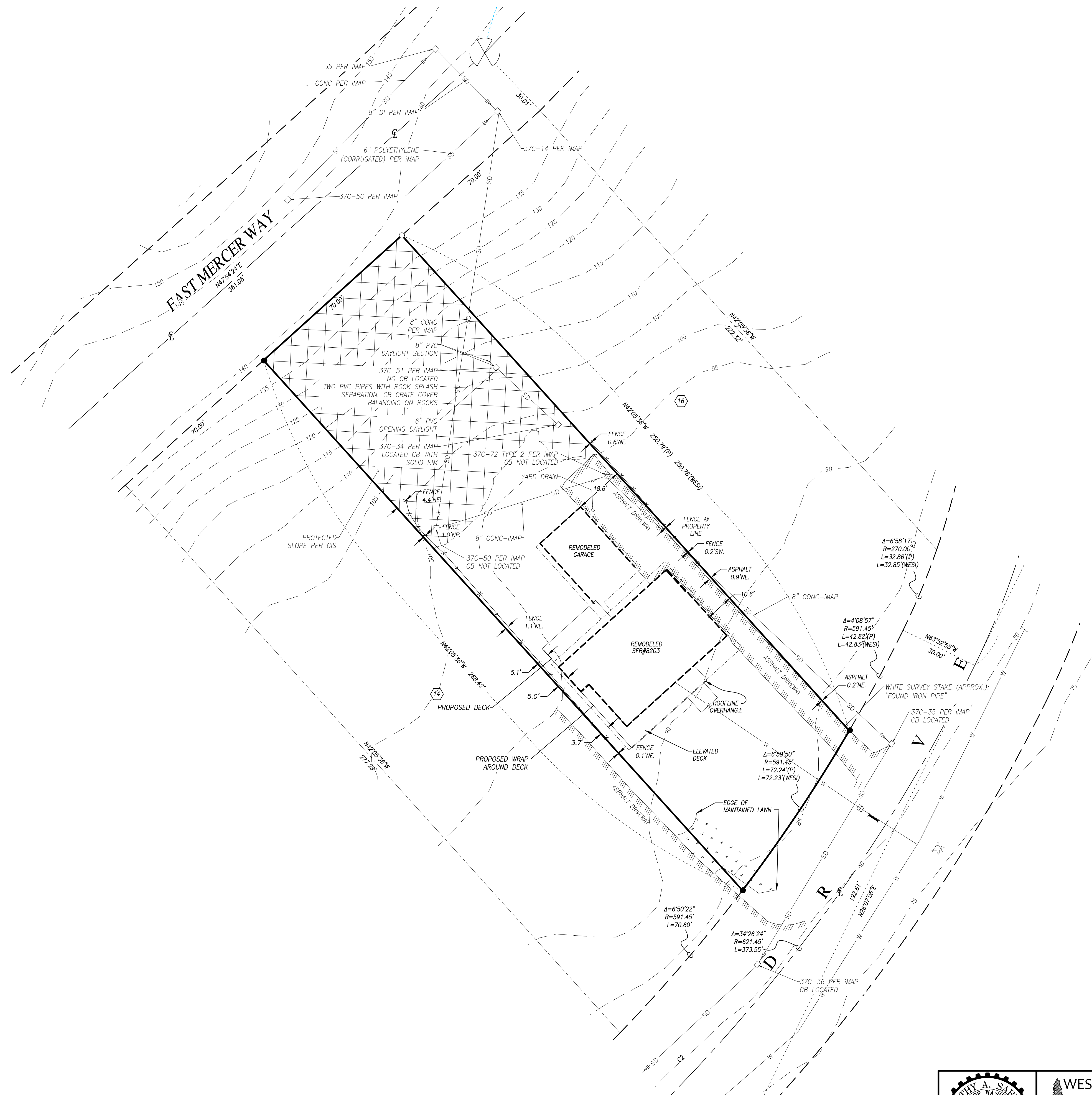


WESI LAND USE CONSULTANTS (425) 356-2700
PLANNING • ENGINEERING • SURVEYING
* 1000 CEDAR AVENUE • SUITE 100 • MARYSVILLE • WA • 98270 •
VISIT OUR WEBSITE AT: WWW.WESI.CO

GRADING AND SWPPP PLAN FOR:
WISHWAS SFR ADD
NE 1/4, NW 1/4, SEC.31, T.24N, R.05E, W.M.
MERCER ISLAND, WASHINGTON

DRAWN BY	DATE	REV. BY	DATE	PROJECT MANAGER	SCALE
TAS	06/04/25	03 TAS	11/26/25	T. SARKELA	1"=20'
DRAWING FILE NAME	CHECKED BY/F.B. NO.	JOB NUMBER			
241102ABASE.DWG	TAS	24-1102-A	SHEET NO. 1 OF 2		

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LEGEND

- EXISTING STORM DRAIN CATCH BASIN (CB)
- EXISTING BUILDING
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- EXISTING EDGE OF ASPHALT
- EXISTING FENCE
- EXISTING LOT LINE
- EXISTING RIGHT-OF-WAY
- EXISTING STORM DRAIN LINE

HARDSCAPE AREA CALCULATION

TOTAL PROPERTY AREA: 18,225 SF (0.418 AC)

ON-SITE HARDSCAPE	AREA (SF)
EXISTING DRIVEWAY	1,650 SF.
REMODELED SFR ROOF	2,500 SF.
REMODELED GARAGE ROOF	850 SF.
PROPOSED DECK ADDITION	200 SF.
TOTAL	5,200 SF.

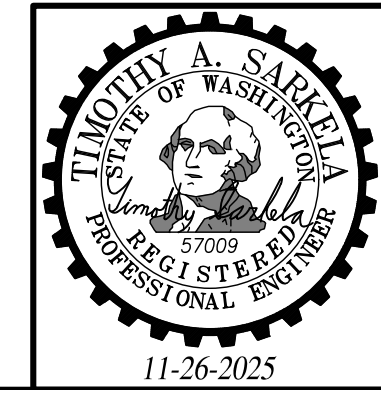
TOTAL NEW/REPLACED HARDSCAPE: 385 SF.

DRAINAGE NOTE

REMODELED ROOF AREAS WILL BE TIED INTO ROOF DRAIN LINES ALREADY IN PLACE. THE EXISTING DOWNSLOPE DRAIN LINES HAVE BEEN TV INSPECTED AND VERIFIED BY THE ENGINEER OF RECORD.

CALL 811 TWO (2) BUSINESS DAYS BEFORE YOU DIG

TAX ACCOUNT NO.(S): 0321100090
 SITE ADDRESS: 8203 AVALON DRIVE, MERCER ISLAND, WA
 PERMIT #2505-004



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DRAINAGE PLAN FOR: WISHWAS SFR ADD			
NE 1/4, NW 1/4, SEC.31, T.24N. R.05E, W.M. MERCER ISLAND, WASHINGTON			
DRAWN BY	DATE	REV. BY	DATE
TAS	06/04/25	03 TAS	11/26/25
DRAWING FILE NAME: 241102ABASE.DWG		CHECKED BY: F.B. NO. TAS	JOB NUMBER: 24-1102-A
PROJECT MANAGER: T. SARKELA			SCALE: 1"=20'
SHEET NO. 2 OF 2			

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11-26-2025